



CITY of POOLER
— GEORGIA —

PLANNING & ZONING COMMISSION MEETING - AGENDA

August 25, 2025, at 3:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. APPROVAL OF MINUTES
- IV. OLD BUSINESS
 - A. Zoning Map Amendment to add Childcare Facilities as an allowable use and add Development Standards specifically for Childcare Facilities within Savannah Quarters PUD Phase 2 for a Childcare Facility to be located at 15 Commons Way (Application # A25-0134)
- V. NEW BUSINESS
 - A. Conditional Use Request for an "other schools and instruction" use to establish a yoga studio at 333 SE US Hwy 80 (Application # A25-0148)
 - B. Site Development Plan Approval for Forest Lakes Secondary Access Road at Jimmy Deloach Parkway and Champlain Drive (Application # A24-0088)
 - C. Site Development Plan Approval for Live Oak Veterinary Neurology at 102 San Drive (Application # A24-0098)
- VI. ADJOURNMENT

City of Pooler
Planning & Zoning Minutes
August 11, 2025

CALL TO ORDER:

Chair Johnson called the meeting to order at 3:00 p.m.
Chair Johnson led the Pledge of Allegiance.

| Attendee Name | Title | Status |
|----------------------|--------------------------------|---------------|
| Nicole Johnson | Chair | Present |
| Shirlinia Daniel | Commissioner | Present |
| Brad Rife | Commissioner | Present |
| Jeremy Kelly | Alternate | Absent |
| Scott Cribbs | Commissioner | Present |
| Mark Williams | Commissioner | Present |
| Ashley Brown | Commissioner | Present |
| Pete Chaison | Commissioner | Absent |
| Marcy Benson | City Planner | Present |
| Ryan Jarles | City Planner | Present |
| Rachael Brown | Zoning Administrator/Secretary | Absent |

APPROVAL OF MINUTES

The minutes of July 28, 2025, Planning and Zoning Commission were reviewed and accepted.

Result: *Approved*

1-Motion: Commissioner Rife

2-Second: Commissioner Brown

Motion passed without opposition

OLD BUSINESS:

- A. Conditional Use Request for a Competitive Cheerleading Facility in a C-2 Zoning District at 1018 W US Hwy 80 (Application # A25-0114)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for a conditional use for a competitive cheerleading facility at 1018 W US Hwy 80. Staff recommended approval of the application. Cassandra James was present to answer questions.

Result: *After review of the criteria, a motion was made to recommend approval of the request.*

1-Motion: Commissioner Rife

2-Second: Commissioner Daniel

Motion Passed without opposition

NEW BUSINESS:

- A. Zoning Map Amendment for 125 and 129 Parsons Ave. from R-1-A to C-1 to allow for marketing the property as Commercial (Application # A25-0126)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is to rezone 125 and 129 Parsons Ave. from R-1-A (One Family Residential) to C-1 (Light Commercial) to allow for marketing the property as Commercial. Staff recommended denial of the application based on it not meeting the criteria. Carol Morgan and Dee Doonan were present to answer questions. Dale Johnston expressed his concerns regarding his property value declining due to a commercial parking lot being adjacent to his.

Result: *After review of the criteria, a motion was made to recommend denial of the request.*

1-Motion: Commissioner Brown

2-Second: Commissioner Daniel

Motion Passed without opposition

- B. Conditional Use Request for a Personal Storage Facility in an I-1 Zoning District at 220 Dublin Rd. (Application # A25-0130)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for a conditional use for a personal storage facility at 220 Dublin Rd. Staff recommended approval of the application with conditions. Jay Maupin was present to answer questions.

Result: *After review of the criteria, a motion was made to recommend approval of the request with the following condition:*

1. No outdoor storage associated with the personal storage facility is permitted at the site.

1-Motion: Commissioner Daniel

2-Second: Commissioner Cribbs

Motion Passed without opposition

- C. Zoning Map Amendment to add Childcare Facilities as an allowable use and add Development Standards specifically for Childcare Facilities within Savannah Quarters PUD Phase 2 for a Childcare Facility to be located at 15 Commons Way (Application # A25-0134)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is to add Childcare Facilities as an allowable use and add Commercial Development Standards for Childcare Facilities within Savannah Quarters PUD Phase 2 for a Childcare Facility to be located at 15 Commons Way. Staff recommended approval of the application with conditions. Jay Maupin was present to answer questions.

Result: *After review of the criteria, a motion was made to recommend approval of the request with the following condition:*

1. The proposed five-foot in height fence must meet setback requirements as required for Commercial/security fences in Ch. 22, Art. IV, Sec. 22-113 – Minimum standards.

1-Motion: Commissioner Rife

2-Second: Commissioner Cribbs

Motion Passed without opposition

- D. Conditional Use Request to establish an other schools and instruction use facility for teaching self-defense, basic first aid and firearms safety/training in the C-2 Zoning District located at 200 Governor Treutlen Rd. Unit 18 (Application # A25-0135)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for a conditional use to establish other schools and instruction use facility for teaching self-defense, basic first aid and firearms safety/training in the C-2 Zoning District located at 200 Governor Treutlen Rd. Unit 18. Staff recommended approval of the application with conditions. Vann Winn was present to answer questions.

Result: *After review of the criteria, a motion was made to recommend approval of the request with the following condition:*

1. No live firearms are used for training purposes on site.

1-Motion: Commissioner Brown

2-Second: Commissioner Daniel

Motion Passed without opposition

- E. Site Development Plan Approval for Soil & Erosion Control and Grading at 111 Sharon Court (Application # A24-0228)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for Site Plan Approval for Soil & Erosion Control and Grading at 111 Sharon Court. Staff recommended approval of the application with conditions. Matt Bashlor was present to answer questions.

Result: *After review of the criteria, a motion was made to recommend approval of the request with the following condition:*

1. The significant tree removed from the property is replaced per Ch. 42, Art. VI – Tree Protection.

1-Motion: Commissioner Williams

2-Second: Commissioner Brown

Motion Passed without opposition

- F. Major Subdivision Plan Approval for The Farm at Morgan Lakes – Phase 3 consisting of 71 Single-Family Residential Parcels (Application # A25-0054)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for Site Plan Approval for The Farm at Morgan Lakes – Phase 3 consisting of 71 Single-Family Residential Parcels. Staff recommended approval of the application. Commissioner Rife recused himself for this item. Alex Miduri was present to answer questions.

Result: *After review of the criteria, a motion was made to recommend approval of the request.*

1-Motion: Commissioner Williams

2-Second: Commissioner Daniel

Motion Passed without opposition

Adjournment

There being no further business, Chair Johnson asked for a motion to adjourn at approximately 3:49 p.m.

1- Motion: Commissioner Brown

2- Second: Commissioner Daniel

Adjourned without opposition

The foregoing minutes are true and correct and approved by me on this ____ day of _____ 2025.

Rachael Brown, Zoning Administrator



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Zoning Map Amendment to add Childcare Facilities as an allowable use and add Commercial Development Standards for Childcare Facilities within Savannah Quarters PUD Phase 2 for a Childcare Facility to be located at 15 Commons Way

| | |
|---------------------------------|---|
| Project: | #A25-0134 |
| P&Z Meeting Date: | August 11, 2025 (August 25, 2025) |
| Public Hearing Date: | August 18, 2025 (September 15, 2025) |
| Applicant and Authorized Agent: | Alexine Diouf – Maupin Engineering |
| Parcel (PIN): | 51009 01150 |
| Existing Zoning: | Savannah Quarters PUD Phase 2 |
| Zoning Action: | Map Amendment |
| Request: | Zoning Map Amendment to add Childcare Facilities as an allowable use and add Commercial Development Standards for Childcare Facilities within Savannah Quarters PUD Phase 2 for a Childcare Facility to be located at 15 Commons Way. |
| Application Filed: | July 17, 2025 |
| Legal Notice Published: | August 3, 2025 |
| Sign Posted: | July 30, 2025 |
| Letters Mailed: | July 30, 2025 |
| Staff Recommendation: | Approval |
| Planning & Zoning Commission: | [TBD] |
| Recommended Motion: | <i>"After review of the criteria, move for approval of the request."</i> |

Background:

The current request was heard at the August 18, 2025, P&Z meeting where a recommendation to approve the request with the condition that the proposed five-foot in height fence must meet setback requirements as required for commercial/security fences in Ch. 22, Art. IV, Sec. 22-113 – Minimum standards. At the August 18, 2025, City Council meeting the applicant requested a postponement of the item to allow them to address staff's and the Planning & Zoning Commission's concerns; protocol for changes to a request warranted this item's return to P&Z for another review prior to moving forward to Council.

The property located at 15 Commons Way is an undeveloped parcel that is approximately 1.62 acres in size with frontage on Old Quacco Rd. and Commons Way: Commons Way being the access frontage. The property is located within the Savannah Quarters PUD, Phase 2. This particular phase allows for commercial uses as allowed within zoning districts C-1, C-2, and C-P. A childcare facility is listed as being a permitted use.

The parcel is irregular in shape and includes a small portion of the property designated within an AE flood zone on the easternmost edge. Adding to the irregularity in shape is a 20 foot Right of Way that was dedicated to the City of Pooler along Old Quacco Road and a 30-foot-wide drainage access easement that bisects the property.

Due to the property's irregular shape, the applicant had submitted a variance request to *"...reduce the 25 foot rear yard setback to 0 feet, reduce the 25 foot side yard setback to 10 feet, the 40 foot accessible front setback to 15 feet, and the 20 foot non-accessible front setback to 7 feet; and an additional request for a reduction in play area from 18,700 square feet (100 sf per child) to 16,300 square feet."*

After reviewing the criteria, the Planning and Zoning Commission recommended denial of the variance request at the March 24, 2025, meeting based on the request not meeting the variance criteria and because the setbacks were in place at the time the property was purchased. The variance request was postponed during the April 7, 2025, City Council meeting, and was later withdrawn by the applicant.

Three previous amendments have been approved for Savannah Quarters, Phase 2:

1.) Amendment one was approved by City Council on December 16, 2022, and consisted of providing guidelines for project identification and entrance features for the development entrances off Pooler Parkway and Quacco Road. This amendment was passed contingent upon each entrance plan being submitted to Planning and Zoning and Council for approval. (This amendment is shown as revision date December 12, 2002, on the Phase 2 document.)

2.) Amendment two was approved by City Council on April 1, 2013, and consisted of adding "hotel" to the list of allowable uses for the medical/commercial tract in the northeast corner of Quacco Road and Pooler Parkway. (This amendment is shown as revision date March 2013 on the Phase 2 document.)

3.) Amendment three was approved by City Council on November 7, 2022, and consisted of removing congregate living, senior living and assisted living uses and adding multi-family, while retaining the general commercial uses. This amendment excluded and commercial development standards. (This amendment is shown as revision dates August 2022, and October 2022 on the Phase 2 document)

The current rezoning application is to amend the Savannah Quarters, Phase 2 to include development standards that would allow for the applicant to develop the proposed childcare facility without the necessity to obtain variances. The proposed amendment includes the addition of "childcare facilities" under the list of allowable uses within Phase 2, although it is already an allowable use. The current Phase 2 standards include "uses as allowed in Pooler zoning districts C-1, C-2, or C-P", which covers the childcare use; however, the inclusion of individually calling out the childcare use within the list makes sense in this case, as the proposed amendment also creates unique development standards for this specific use.

The existing development standards for which this parcel would be subject to are the requirements within the C-2 zoning district of the City of Pooler, as the existing Phase 2 documentation does not provide development standards for commercial uses. Setbacks for this property under the existing development standards would include a 60-foot front yard setback (35-foot front yard setback for accessible secondary frontages and 20-foot front yard setback for non-accessible frontages), 10-foot side yard setback, and 10-foot rear setback. The proposed amendment would allow for a reduction in the front yard setback (with access), bringing it down to 40 feet while the front yard setback (without access) will be 20 feet. The proposed side and rear yard setbacks are 10 feet. The max building height, under the current development standards, is 60 feet; this is lowered to 35 feet in the proposed amendment.

The amendment also proposes to include a change to the outdoor play area requirements, previously requiring 100 sf per child, and are shown to follow the State of Georgia's requirements providing a minimum of 100 sf for one third the maximum occupancy; additionally the amendment adds fence setbacks for childcare facilities, including 10 feet for the non-accessible front, side and rear setbacks; 25 feet for the accessible front setback; and 5 feet for the corner setback, for a 21-foot linear section of the rear setback to allow for 25 linear feet of fence to traverse the northeastern corner of the proposed building shown on the plan provided within the submittal materials.

Relevant Ordinances:

App. A, Art. V, Sec. 10. Standards for Zoning Ordinance or Map Amendment

PUD (Savannah Quarters, Phase 2)

Zoning Action Standards:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
 - *The request does not change the zoning boundary; the zoning will remain PUD. Savannah Quarters PUD, Phase 2 does not currently have development standards for commercial uses and has relied on the development standards found within the City of Pooler's ordinance since no development standards are strictly called out within the document. This amendment would establish standards for one specific use allowed within the PUD's Phase 2 as well as providing direction for the other commercial properties, which would be to follow the development standards found within the City of Pooler's Code of Ordinances.*
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - *No, this would not be considered spot zoning as the zoning of the site is not changing.*
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
 - *The proposed use is allowed by right in the Savannah Quarters Phase 2 PUD and would not cause additional traffic to traverse established single-family neighborhoods nor cause noise and traffic hazards to an already commercially designated site.*
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - *The request would not place irreversible limitations on the area as it is or on future plans, as the proposed amendment only seeks to clarify the development standards to be utilized when establishing commercial uses within Phase 2.*
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?

- *There is no imminent need for the amendment, as the property could be developed without the requested changes; however, for the particular site to be developed, as proposed, the requested changes to the PUD phase 2 would be necessary.*
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
- *No, the proposed rezoning would not substantially conflict with the density patterns of the general area as the zoning is not changing, and the area is already heavily commercialized.*
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
- *No, additional requests of this kind would be unlikely, as this request is primarily to create unique development standards for a particular use allowed within Phase 2 as well as addressing the development standards for the remaining commercial uses in Phase 2 of Savannah Quarters.*
8. Will the action adversely impact adjacent or nearby properties in terms of:
- Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *The request will not adversely impact the nearby properties as it relates to environmental quality, livability, or cause incompatible development.*
 - Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - *No, the request will not adversely impact the nearby properties as it relates to property values or make them less marketable because the proposed commercial use would be compatible with the existing commercial uses in the surrounding area. The proposed PUD amendment will also solidify the development requirements for future commercial development in the area within phase 2.*
 - Will the action create development opportunities of such increased intensity that stormwater runoff from the site

cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?

- *No, the request should not adversely impact the nearby properties as it relates to stormwater runoff. The proposed childcare facility will be reviewed through the site development plan review process, and all stormwater impacts will need to meet stormwater management requirements.*

9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

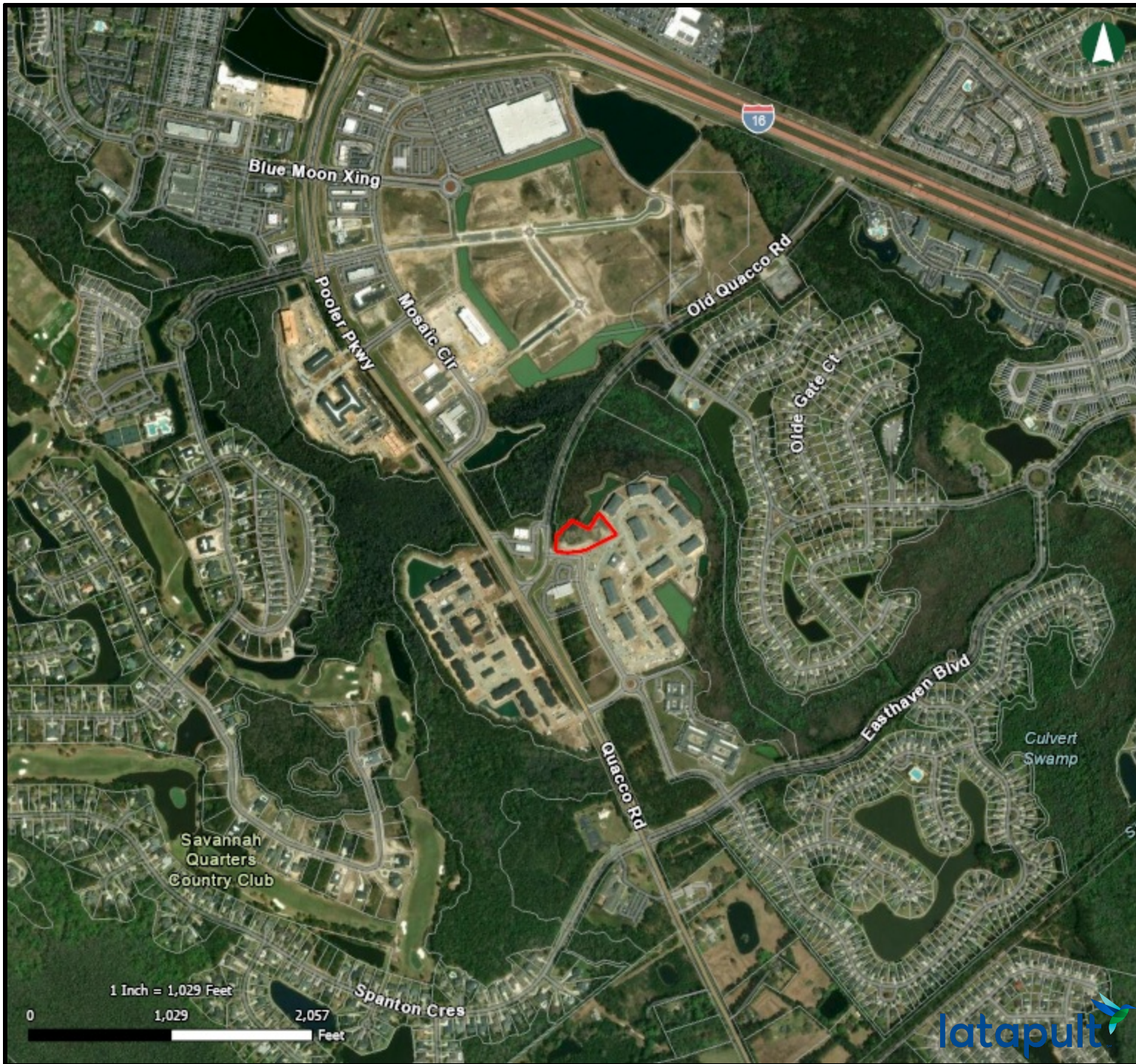
- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public.*

Conclusion:

Staff finds that the request meets the criteria. As such, Staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Zoning Map
- C. Application and Submittal Documentation
- D. Savannah Quarters, Phase 2 PUD Standards Amendment Draft



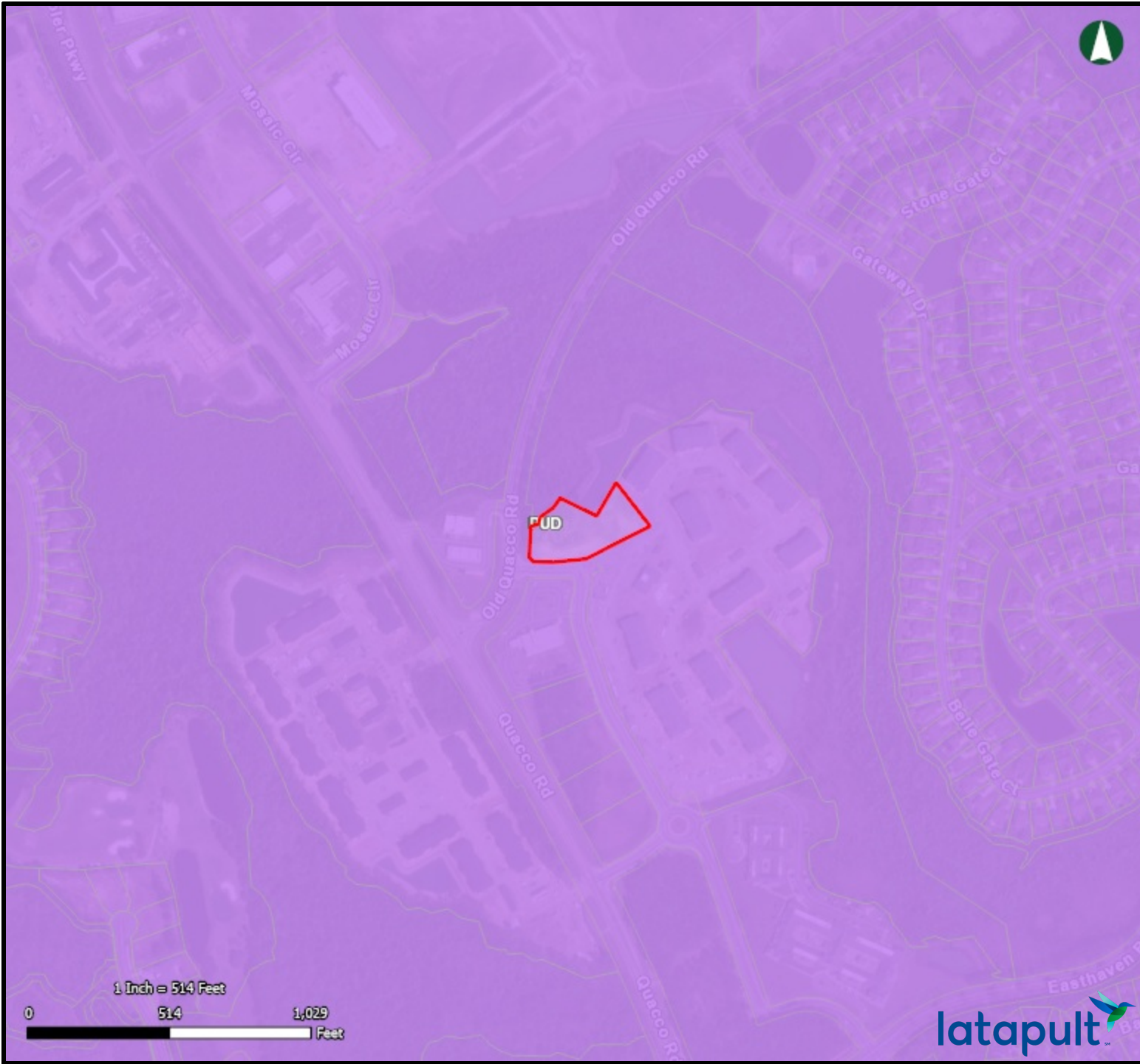
CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Vicinity Map - 15 Commons Way - PUD Amendment

07/24/2025

Parcels







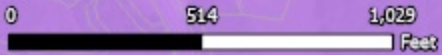
CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

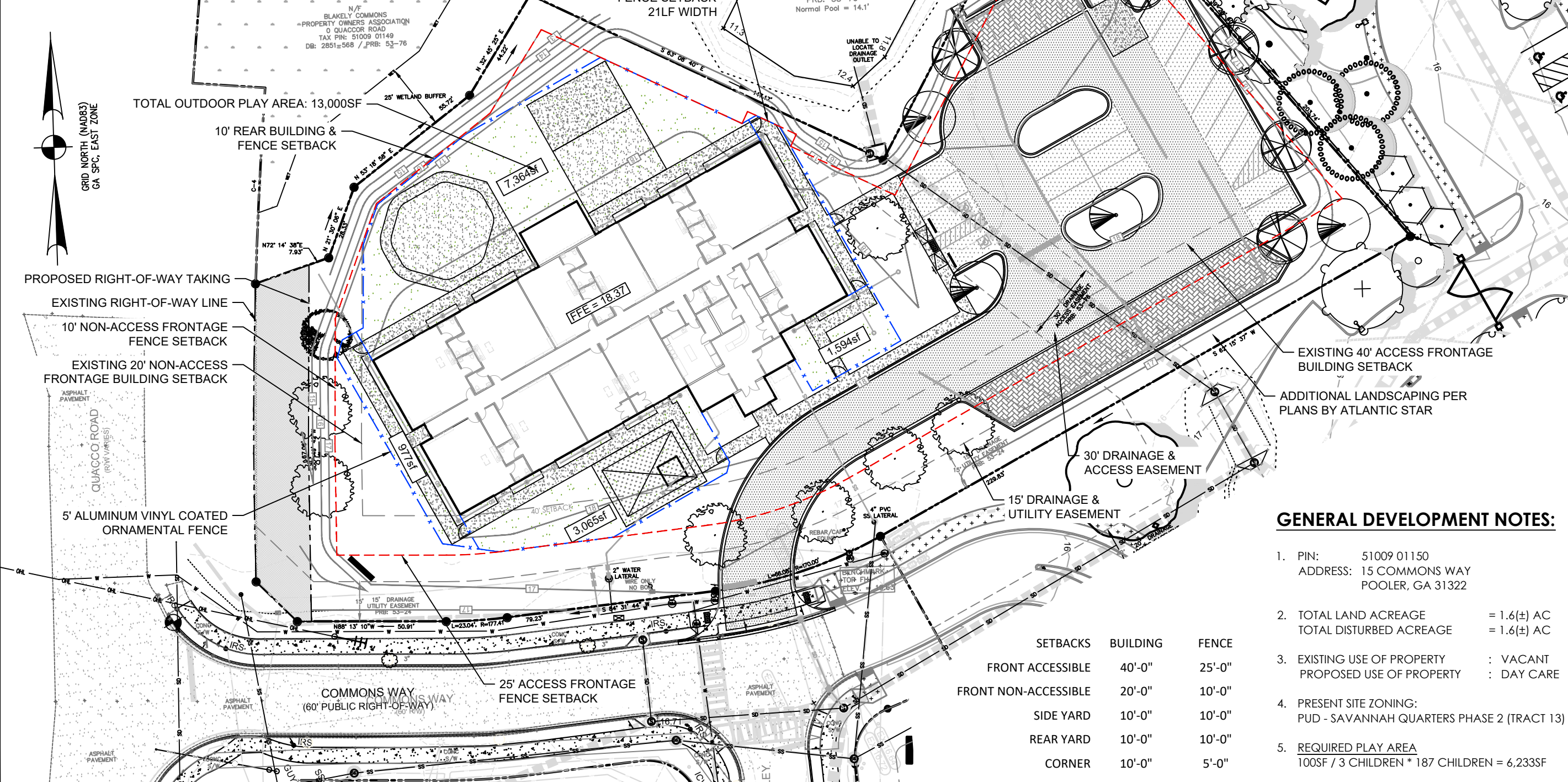
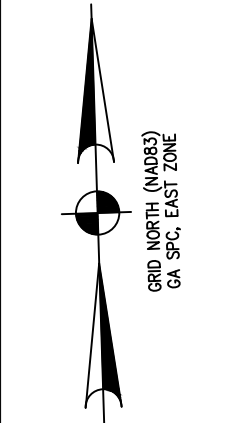
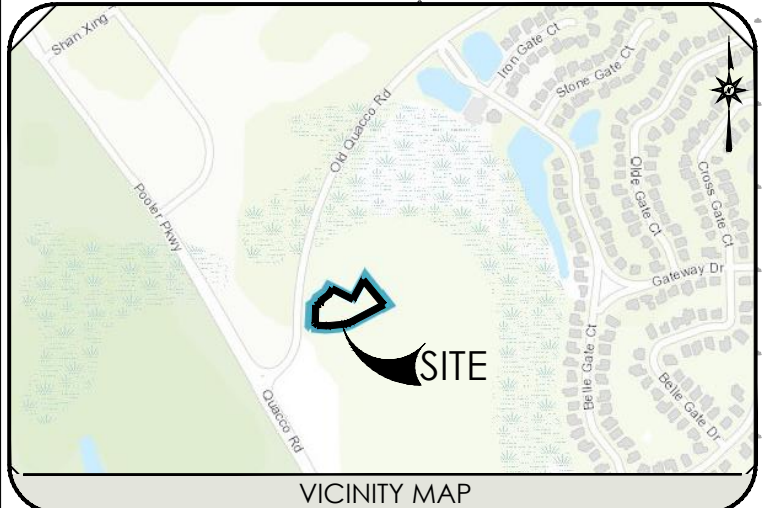
Zoning Map - 15 Commons Way - PUD Amendment

08/04/2025

-  Parcels
-  Business/Commercial
-  Industrial
-  PUD
-  Residential

1 Inch = 514 Feet





BLAKELY COMMONS
PROPERTY OWNERS ASSOCIATION
0 QUACCOR ROAD
TAX PIN: 51009 01149
DB: 2851-568 / PRB: 53-76

BLAKELY COMMONS
PROPERTY OWNERS ASSOCIATION
0 QUACCOR ROAD
TAX PIN: 51009 01149
DB: 2851-568 / PRB: 53-76

LAKE
DRAINAGE AND UTILITY
EASEMENT
PRB: 53-76
Normal Pool = 14.1'

TOTAL OUTDOOR PLAY AREA: 13,000SF

10' REAR BUILDING & FENCE SETBACK

5' CORNER FENCE SETBACK
21LF WIDTH

10' SIDE BUILDING & FENCE SETBACK

EXISTING 40' ACCESS FRONTAGE BUILDING SETBACK

ADDITIONAL LANDSCAPING PER PLANS BY ATLANTIC STAR

30' DRAINAGE & ACCESS EASEMENT

15' DRAINAGE & UTILITY EASEMENT

PROPOSED RIGHT-OF-WAY TAKING
EXISTING RIGHT-OF-WAY LINE
10' NON-ACCESS FRONTAGE FENCE SETBACK
EXISTING 20' NON-ACCESS FRONTAGE BUILDING SETBACK

5' ALUMINUM VINYL COATED ORNAMENTAL FENCE

COMMONS WAY
(60' PUBLIC RIGHT-OF-WAY)

25' ACCESS FRONTAGE FENCE SETBACK

| SETBACKS | BUILDING | FENCE |
|----------------------|----------|--------|
| FRONT ACCESSIBLE | 40'-0" | 25'-0" |
| FRONT NON-ACCESSIBLE | 20'-0" | 10'-0" |
| SIDE YARD | 10'-0" | 10'-0" |
| REAR YARD | 10'-0" | 10'-0" |
| CORNER | 10'-0" | 5'-0" |

GENERAL DEVELOPMENT NOTES:

- PIN: 51009 01150
ADDRESS: 15 COMMONS WAY
POOLER, GA 31322
- TOTAL LAND ACREAGE = 1.6(±) AC
TOTAL DISTURBED ACREAGE = 1.6(±) AC
- EXISTING USE OF PROPERTY : VACANT
PROPOSED USE OF PROPERTY : DAY CARE
- PRESENT SITE ZONING:
PUD - SAVANNAH QUARTERS PHASE 2 (TRACT 13)
- REQUIRED PLAY AREA
100SF / 3 CHILDREN * 187 CHILDREN = 6,233SF

PUD TEXT AMENDMENT EXHIBIT

FELC 247 - Foundations at Blakely Commons



DRWN: JAM 8-12-2025
CHK'D: JAM DATE
SHP2_FOUNDATIONS BLAKELY COMMONS-081225.DWG

SHEET NO.
1 of 1
933-23-01
PROJECT NO.



OFFICE PHONE (912) 235-2915
GENERAL@MAUPINENGINEERING.COM
114 WEST 42ND STREET
SAVANNAH, GA 31401

RECEIVED
 JUL 15 2022
 ZONING DEPARTMENT

FINAL P.U.D.
 MASTER PLAN



SAVANNAH QUARTERS

PREPARED FOR:
 Hall Development Company
 Savannah, Georgia

PREPARED BY:
Haden-Stanziale
 Planning & Consulting Engineers
 100 South Boulevard, Suite 100
 Savannah, Georgia 31401
 Phone: (912) 433-1100
 Fax: (912) 433-1101
 www.haden-stanziale.com
 SEPTEMBER 3, 1999

HUSSEY GAY BELL
 Established 1958

| | | |
|---|---|--|
| FINAL PUD PHASE ONE NOVEMBER 1, 1993 REV. DECEMBER 21, 2005 | FINAL PUD PHASE TWO MARCH 28, 2001 | FINAL PUD PHASE THREE AUGUST 13, 2001 |
| FINAL PUD PHASE FOUR DECEMBER 17, 2001 REV. JUNE 12, 2014 | FINAL PUD PHASE FIVE MAY 20, 2002 REV. SEPTEMBER 16, 2006 | FINAL PUD PHASE SIX JUNE 16, 2004 |
| FINAL PUD PHASE SEVEN AUGUST 16, 2004 | FINAL PUD PHASE EIGHT NOVEMBER 22, 2004 | FINAL PUD PHASE NINE DECEMBER 10, 2004 |
| FINAL PUD PHASE TEN RESERVED | FINAL PUD PHASE ELEVEN NOVEMBER 7, 2005 REV. DECEMBER 1, 2004 | FINAL PUD PHASE TWELVE MARCH 15, 2006 |
| FINAL PUD PHASE THIRTEEN SEPTEMBER 25, 2006 | FINAL PUD PHASE FOURTEEN DECEMBER 11, 2006 | FINAL PUD PHASE FIFTEEN FEBRUARY 14, 2011 |
| FINAL PUD PHASE SIXTEEN JULY 27, 2014 | FINAL PUD PHASE SEVENTEEN AUGUST, 2017 | |

TOTAL AREA
 2,588 Ac.

NON-RESIDENTIAL
 (COMMERCIAL, OFFICE,
 MEDICAL, HOTEL,
 CHURCH, URBAN
 ENTERTAINMENT CENTER)
 456 Ac.

RESIDENTIAL (INCLUDING GOLF & WETLAND)
 2,132 Ac

TOTAL ALLOWABLE DWELLING UNITS
 (4 D.U./RESIDENTIAL ACRE)
 8,528 D.U.

| | | |
|--|------------|---------|
| PHASE 8 CHURCH ONLY | 0 | (0) |
| PHASE 9 DWELLING UNITS SINGLE FAMILY | 230 | (230) |
| PHASE 10 DWELLING UNITS SINGLE FAMILY | RESERVED | |
| PHASE 11 DWELLING UNITS SINGLE FAMILY | 210 | (210) |
| PHASE 12 DWELLING UNITS SINGLE FAMILY | 136 | (136) |
| PHASE 13 DWELLING UNITS SINGLE FAMILY | 90 | (90) |
| PHASE 14 DWELLING UNITS MULTIFAMILY | 280 | (280) |
| PHASE 15 COMMERCIAL ONLY | 0 | (0) |
| PHASE 16 MIXED USE (COMMERCIAL, MEDICAL, ASSISTED LIVING) | 0 | (0) |
| PHASE 17 DWELLING UNITS SINGLE FAMILY TOWNHOME CONDOMINIUM AVAILABLE DWELLING UNITS IN FUTURE PHASES | | (1,128) |
| | 3,778 D.U. | |

| | | |
|--|------------------------|---------|
| PHASE 1 DWELLING UNITS SINGLE FAMILY GOLF COTTAGE/ CLUBHOUSE GOLF VILLAS / TOWNHOMES MULTIFAMILY | 89 24 264 789 | |
| PHASE 2 DWELLING UNITS PATIO HOMES INDEPENDENT LIVING | 45 300 | (1,166) |
| PHASE 3 DWELLING UNITS SINGLE FAMILY | 148 | (148) |
| PHASE 4 DWELLING UNITS SINGLE FAMILY MULTIFAMILY (0.12D.U./Ac) | 221 318 | (539) |
| PHASE 5 DWELLING UNITS SINGLE FAMILY | 178 | (178) |
| PHASE 6 DWELLING UNITS SINGLE FAMILY | 300 | (300) |
| PHASE 7 COMMERCIAL ONLY | 0 | (0) |

COLT(PHASE 1)
 LAAGOON

~~SOUTHWEST QUADRANT~~ **[SAVANNAH QUARTERS] PHASE TWO**
FINAL P.U.D. MASTER PLAN
August 18, 2025

GENERAL

The project consists of a mixed-use master-planned community on approximately 2,588 acres located at the southwest quadrant of the I-95/I-16 interchange. Anticipated uses include single-family and multi-family residential, golf club, commercial, churches, medical services, offices, senior residential, hotels and urban entertainment.

Planned Unit Development zoning for this property was approved by City Council on December 7, 1998, based on the Conceptual Master Plan dated September 15, 1998 prepared by EDSA. ~~The current application is for final P.U.D. approval for Phase 2 development and presents proposed development standards, in accordance with requirements of the City of Pooler PUD Zoning Ordinance. The previous PUD Amendment in October of 2022 was to establish development standards for Savannah Quarters Phase Two to be utilized as a Residential Care Facility. Whereas the previously planned Residential Care Facility was not constructed and the language of the October 2022 Amendment was unclear as to the development standards for other types of commercial developments, this current amendment to the Phase Two PUD is to clarify that Childcare facilities and other general commercial uses are permitted with Savannah Quarters Phase Two and to set forth the associated development standards for those uses.~~

PHASE TWO FINAL PUD PLAN

Phase Two consists of approximately 25 acres of multi-family residential and 10 acres of commercial development.

The following standards will be applied in Phase Two:

A. Use Standards:

Multi-Family Residential

The multifamily uses allowed in the Savannah Quarters PUD will follow the provisions of the R-3C zoning district as specified in Article III, Section 6, Schedule of development regulations from the City of Pooler Code of Ordinances adopted April 17, 2023.

Commercial District

- **commercial uses** as allowed in Pooler zoning districts C-1, C-2 or C-P, including:
- nursing and residential care facilities
- continuing care retirement communities with on-site nursing care facilities
- assisted-living facilities and other homes for the elderly without on-site nursing care facilities

Revised August, 2025

Revised October, 2022

Revised August, 2022

Revised March, 2013

Revised December 12, 2002

C. Childcare Use Standards:

1. Outdoor Play Area – The required outdoor play area shall meet the minimum play area requirements as outlined by the State of Georgia providing a minimum of 100sf for one third the maximum occupancy within an ornamental fence not less than four feet in height. For these purposes, decorative or ornamental fence shall be defined as a fence constructed of wood, vinyl, masonry and wrought iron or a combination thereof with a maximum height not to exceed five feet. Fence minimum standards are as specified in Article IV, Section 22-113 of building and building regulations from the City of Pooler Code of the ordinance adopted April 17, 2023.

D. Road Standards:

All roads and parking will be privately owned and maintained.
Right-of-way widths for public streets shall be 60 feet (minimum). Private streets shall be located in easements of minimum 50-foot width.
Road construction standards shall be in accordance with City of Pooler Subdivision Regulations, except that all roads may have 12-foot lanes. Private street standards shall be subject to City of Pooler approval.

E. Buffers:

Buffers shall be in accordance with the City of Pooler Zoning Regulations of Appendix A, Article III, Section 27 with these exceptions:

1. Childcare facility shall follow the buffer requirements as listed in Article III, Section 19(B).6, or under agreement by adjoining property owners.

F. Project Identification / Entrance Features

Entrances to the property from Pooler Parkway and Quacco Road may contain architectural and landscape/hardscape features to improve the aesthetics of the entrances and provide project identity for the development. These improvements may include, but are not limited to, features such as:

- masonry walls, pillars and architectural structures (open-air, non-habitable) not to exceed 35' in height from adjacent grade
- decorative metal fencing
- specialty lighting and lamp posts
- development name and icons
- fountains, park benches and similar hardscape features
- brick pavers or stamped and painted pavement
- landscaping and trees

The location of these improvements shall be outside of the right-of-way of Pooler Parkway and Quacco Road. The master developer may require review and approval of proposed features to be installed by developers of an individual parcel within the PUD.

Revised August, 2025
Revised October, 2022
Revised August, 2022
Revised March, 2013
Revised December 12, 2002





CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for an "other schools and instruction use" to establish a yoga studio in the C-1 zoning district at 333 SE US Hwy 80.

| | |
|--|--|
| Project: | #A25-0130 |
| P&Z Meeting Date: | August 25, 2025 |
| Public Hearing Date: | September 15, 2025 |
| Applicant and Authorized Agent: | Jennifer Friedman |
| Location (Address): | 333 SE US Hwy 80 |
| Parcel (PIN): | 50005 16006 |
| Existing Zoning: | C-1 (Light Commercial) |
| Zoning Action: | Conditional Use |
| Request: | Request is for a Conditional Use for an "other schools and instruction use" to establish a yoga studio in the C-1 zoning district at 333 SE US Hwy 80. |
| Application Filed: | August 6, 2025 |
| Legal Notice Published: | August 24, 2025 |
| Sign Posted: | August 21, 2025 |
| Letters Mailed: | August 22, 2025 |
| Staff Recommendation: | Approval |
| <i>Planning & Zoning Commission:</i> | <i>TBD</i> |
| <i>Recommended Motion:</i> | <i>"After review of the criteria, move for approval of the request."</i> |

Background:

The request is for a Conditional Use for an “other schools and instruction use” to establish a yoga studio in the C-1 zoning district at 333 SE US Hwy 80. The subject site consists of a multi-tenant commercial building with several other businesses within, including a laundromat, restaurant, grocery store, and a children’s store. The building is associated with and shares a parking lot with a second building on an adjacent parcel, 301 SE US Hwy 80. 301 SE US Hwy 80 is a multi-tenant commercial building with several businesses within, including a massage studio, driving school, event planner, and salons. Across Skinner Street, at 205 S Skinner Ave, there are two other commercial buildings including a florist, a mental health services provider, as well as two staffing agencies. A gas station and a park can be found on the north side of US Hwy 80; the area south of the subject site is primarily residential. The residential zoning is separated by a vegetated area and a gravel lane, which is a portion of Tietgen St.

The 1.14-acre site is located within the C-1 zoning district. The C-1 zoning district allows for other schools and instruction uses through conditional use approval. The applicant was informed of this requirement after they had applied for a business license, the current conditional use application was submitted in response.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

App. A, Art. IV, Sec. 4 – Conditional Uses

App. A, Art. V, Sec. 7 – Standards for Conditional Use Permission

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would not be contrary to the purpose of the ordinance and is in keeping with the other light commercial uses established within the surrounding C-1 zoning district, including a laundromat, restaurant, grocery store, massage studio, driving school, event planner, salons, children’s store, health facilities, staffing agencies, and others.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas. The use is proposed to be located within an established multi-tenant commercial building, and the surrounding area includes a laundromat, restaurant, grocery store, massage studio, driving school, event planner, salons,*

children's store, health facilities, staffing agencies, and others. There are residential properties to the south, however, these properties are separated from the subject site by a vegetated area and a gravel lane, which is a portion of Tiegen St.

3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use will not result in an increase in the number of persons and vehicles or an increase in noise or fumes, as the proposed use will be entirely isolated to the interior of an established multi-tenant commercial building.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the existing adjacent parcels are, for the most part, all light commercial in nature. The residential properties to the south are separated from the subject parcel by a tree-lined gravel portion of Tietgen St.*
5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The subject parcel is approximately 1.14 acres in size and shares parking with an adjacent parcel. The lot is of a sufficient size for all uses.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The use is proposed to be within a multi-tenant commercial building that shares parking with an adjacent multi-tenant commercial building. The site provides ample parking for all uses.*
7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote public*

welfare and protect the established development pattern. The proposed use would be consistent with the pattern of light commercial uses in the surrounding area.

Conclusion: The request complies with all criteria for a conditional use. As such, Staff recommends **approval** of the request.

Attachments:

- A. Vicinity Map
- B. Submittal Documentation



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 GEORGIA
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Vicinity Map - 333 SE US Hwy 80 - Conditional Use

08/13/2025

Parcels

Project Information provided with submittal materials

1. Description of proposed use, listing specific sections of zoning ordinance that apply:
 - Yoga Studio

2. Description of proposed activities, number of units, hours of operation:
 - We will hold yoga and fitness-related classes. Hours of operation will vary daily but most often stay in the 8:30 AM - 8:30 PM range, then operate a yoga studio with classes each day.

3. Description of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during, and after the completion of development activities:
 - There is no disturbance of any kind taking place; we are going to sand and paint the walls, put in new floors,

4. Proposed Starting Dates of Land Disturbance, Construction, Completion, Use Opening, First Occupancy:
 - We are scheduled to have the painting and floors done by early to mid-September and start having pop up classes in September.

All application materials provided:

- Application Form
- Campaign Contribution Form
- Owner Authorization Form



- (1) ROTHWELL S/D
- (2) STOFER S/D
- (3) PARSONS S/D
- (4) GRAY'S S/D

5 (LOT A)
.99AC

6 (LOT B)
1.12AC

TIETGEN



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Development Plan Approval for Forest Lakes Secondary Access Road at Jimmy Deloach Parkway and Champlain Drive

| | |
|---------------------------------|---|
| Project: | #A24-0088 |
| P&Z Meeting Date: | August 25, 2025 |
| City Council Meeting Date: | September 15, 2025 |
| Applicant and Authorized Agent: | Malorie Boyd – Coleman Company, Inc. |
| Location (Address): | Intersection of Jimmy Deloach Parkway and Blackshear Road |
| Parcel (PIN): | 51015 01034 |
| Acreage: | Approximately 2.82 acres |
| Zoning: | PUD (Wynn Capallo & Godley Station) |
| Proposed Use: | Secondary Access Road for emergency access only |
| Staff Recommendation: | Approval |
| Planning & Zoning Commission: | TBD |
| <i>Recommended Motion:</i> | <i>"After review of the criteria, move for approval of the request."</i> |
| Zoning Action Standards: | <ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none"><i>The site is located within an area that is shown on the Future Land Use Map as being Planned Development and is shown in the Comprehensive Plan as being within the PUD/Mixed Use Character Area. The proposed access road will be utilized as a secondary access point for emergency access for the Forest Lakes Subdivision, which is located within the Godley Station PUD; the access road will traverse the Wynn Capallo PUD.</i> |

2. Whether the site plan provides for adequate pedestrian and traffic access.
 - *The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.*
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - *The site is located on a large 64.35-acre parcel which will adequately accommodate the proposed 2.82 acres necessary for the access road.*
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - *Yes, the site plan provides the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).*
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - *Yes, the proposed site plan is appropriate in scale and relation to the proposed use of the access road.*
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - *The proposed site development is to be adequately served by proposed services.*
7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - *The site is adequately served by public services and for current or projected needs.*
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - *The site plan complies with the provisions related to buffer and screening standards.*
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- *The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.*

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

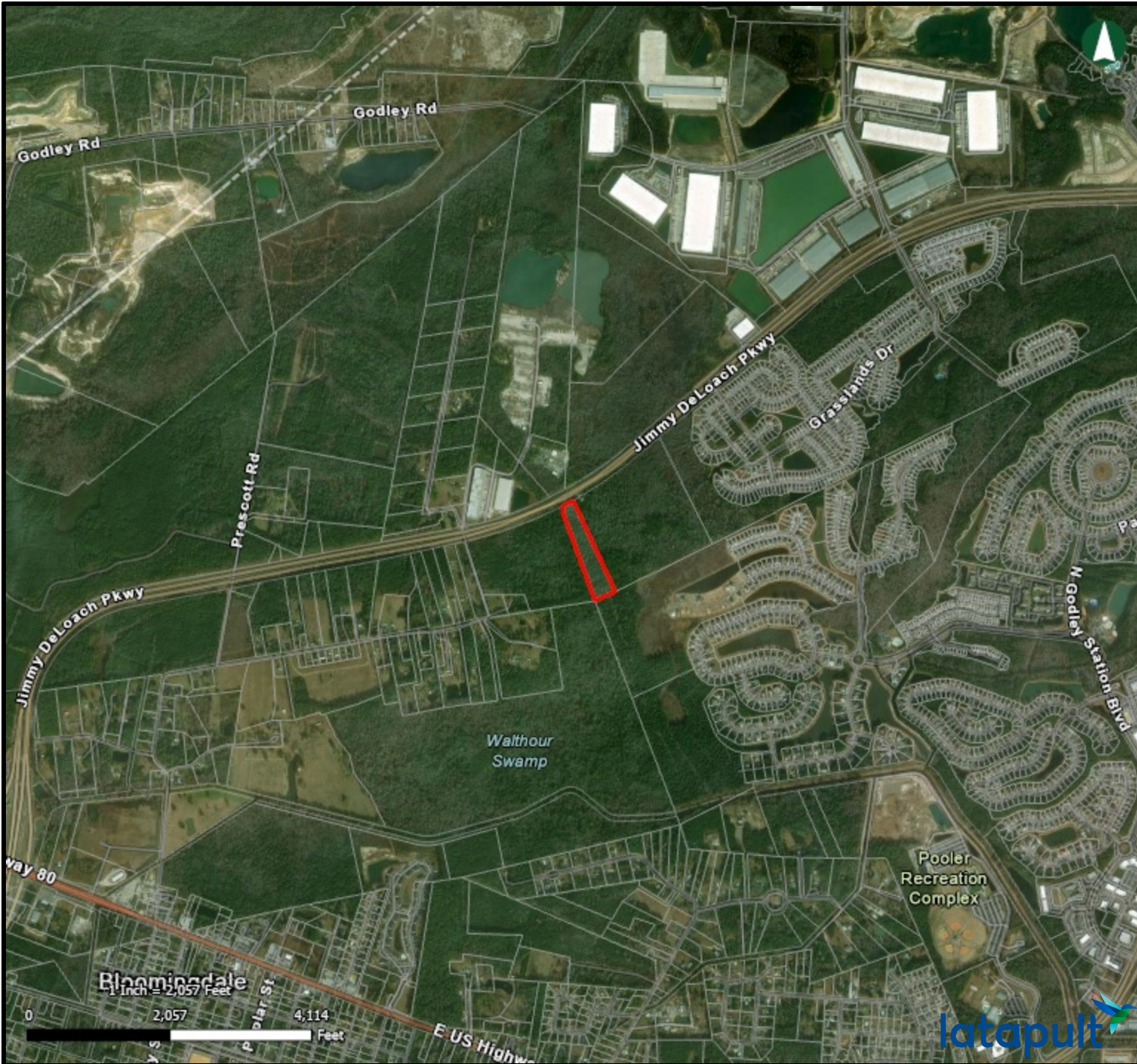
- *The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.*

Conclusion:

The site plan addresses the site plan approval criteria, as such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Submittal Documentation
- C. Approval Letter



CITY OF POOLER
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Vicinity Map - Forest Lakes Secondary Access Rd. - Site Plan

08/20/2025

Parcels

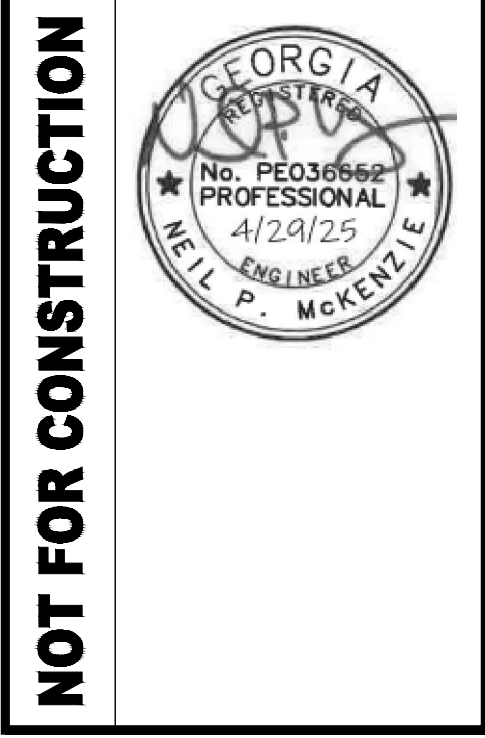
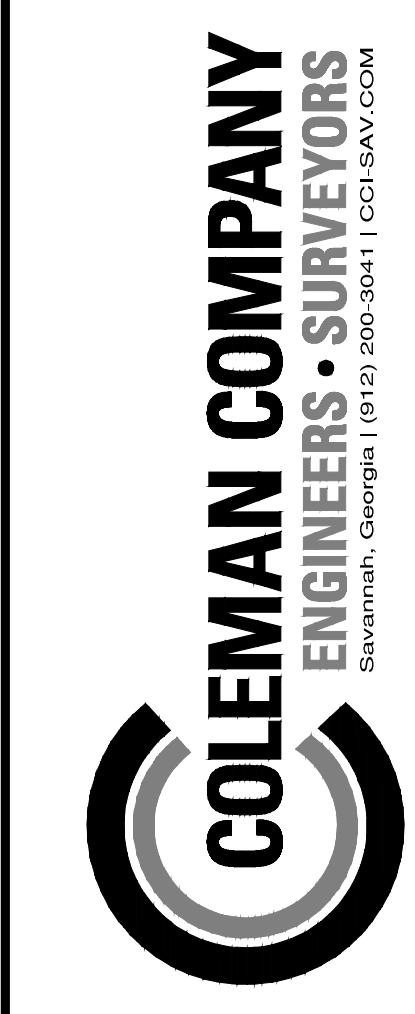


CIVIL CONSTRUCTION PLANS FOR

FOREST LAKES SUBDIVISION

SECONDARY ACCESS ROAD

PREPARED FOR
GODLEY STATION WEST, LLC



NOT FOR CONSTRUCTION

| REVISIONS: |
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CIVIL CONSTRUCTION PLANS FOR
FOREST LAKES SUBDIVISION
SECONDARY ACCESS ROAD
LOCATED IN POOLER, GEORGIA
PREPARED FOR GODLEY STATION WEST, LLC

JOB NUMBER: 23-533.000
DATE: 11/07/2024
DRAWN BY: RCC
CHECKED BY: NPM
SCALE: AS NOTED

COVER

SHEET:
COV

LANE CLOSURES SHALL BE RESTRICTED BETWEEN 7:00PM - 5:00AM.

I CERTIFY THAT THE DESIGN (INCLUDING THE STORMWATER MANAGEMENT SYSTEM) MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA (ART. V. 42-183.4(5)), EXCEPT WHERE EXEMPTED BY (42-180.3(2)(f)).

TO THE BEST OF OUR KNOWLEDGE, NO WATER AND/OR SEWER LINES ASSOCIATED WITH THIS PROJECT ARE CONSTRUCTED UPON, NOR DO THEY SERVE STRUCTURES BUILT UPON, SOLIDWASTE LANDFILLS.
Neil P. McKenzie
NEIL P. MCKENZIE, PE DATE

DESIGN PROFESSIONAL'S CREDENTIALS:
ENGINEER'S NAME (PRINTED): NEIL P. MCKENZIE, PE
GEORGIA PE NUMBER: PE036652
GSWCC LEVEL III CERTIFICATION NUMBER: 44944

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 8/14/2025 7:52 AM BY: Billie Powell DRAWING PATH: C:\2023\13-533-000\DWG\CIVIL\NORTH ROAD\13-533-000_FOREST LAKES ACCESS ROAD_COVER_NOTES & DETAILS.dwg

| VICINITY MAP (N.T.S.) | REVISIONS | PROJECT SITE DATA | SHEET INDEX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| C1.0 | CONSTRUCTION NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C2.0 | EXISTING CONDITIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C3.0 | STAKING PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C4.0 | GRADING PLAN & PROFILE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C5.0 | GDOT DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C5.1 | CONSTRUCTION DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| CE1.0 | INITIAL ES&PC PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CE2.0 | INTERMEDIATE ES&PC PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CE3.0 | FINAL ES&PC PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CE4.0 | EROSION CONTROL DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CE4.1 | EROSION CONTROL DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CE5.0 | NPDES PERMIT NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CE5.1 | NPDES PERMIT NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| L1.0 | LANDSCAPE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| L2.0 | LANDSCAPE DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LP1.0 | LIGHTING PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

DATE PLOTTED: 8/14/2025 7:52 AM, BY: Diller Powell, DRAWING PATH: C:\02313131-000\DWG\CIVIL\NORTH ROAD\32-533-000 FOREST LAKES ACCESS ROAD, COVER, NOTES, & DETAILS.dwg

GENERAL NOTES:

- 1. CONTRACTOR WILL BE REQUIRED TO ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE GOVERNMENTAL AGENCY IN CHARGE OF THE PROJECT.
2. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS AS REQUIRED FOR APPROVAL OF THE WORK WITH THE GOVERNMENTAL AGENCY WITH JURISDICTION.
3. CONTRACTOR WILL BE RESPONSIBLE FOR COST OF AND COORDINATION WITH LOCAL UTILITY COMPANIES OR AGENCIES FOR RELOCATION OF, OR CONNECTION TO, ALL EXISTING UTILITIES INCLUDING POWER AND TELEPHONE POLES AND WIRES.
4. ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL DATUM, NAVD 88.
5. A MINIMUM SHOULDER WIDTH OF 4 FEET WITH A MINIMUM TRANSVERSE SLOPE OF 5% WILL BE PROVIDED ADJACENT TO CURBS AND WALKS. ALL WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM TRANSVERSE SLOPE OF 5%.
6. MAXIMUM EARTH SLOPES WILL BE 3:1. GRADE FROM SHOULDER EDGE TO RIGHT- OF-WAY AT 1% MINIMUM.
7. REMOVAL AND REPLACEMENT OF UNSUITABLE SUBGRADE MATERIAL WILL BE PAID FOR ON A CUBIC YARD BASIS IN PLACE MEASUREMENT, AT SUCH AUTHORIZED PRICE PER CUBIC YARD, AS AUTHORIZED BY THE ENGINEER.
8. PROVIDE 1/2" EXPANSION JOINT IN NEW WALKS FOR DEPTH OF CONCRETE, WITH BITUMINOUS SEAL FOR TOP 1 INCH MINIMUM DEPTH AT ABUTMENTS WITH BUILDINGS OR OTHER CONCRETE STRUCTURES.
9. SAW-CUT CONSTRUCTION JOINTS WILL BE PROVIDED IN ACCORDANCE WITH DETAILS, CUT TO BE 1/4 DEPTH OF CONCRETE MINIMUM.
10. ALL DIMENSIONS ARE TO EXTERIOR FACE OF BUILDING, EDGE OF SURFACE COURSE OR FACE OF CURBING UNLESS OTHERWISE NOTED.
11. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL KEEP ACCURATE RECORDS FOR "AS BUILT" PURPOSES AND PROVIDE THIS INFORMATION TO THE ENGINEER AT THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR FAILS TO FURNISH THIS INFORMATION, THE ENGINEER WILL OBTAIN THE NECESSARY INFORMATION AND CHARGE THE CONTRACTOR FOR THE SERVICES. THE ENGINEER WILL CHECK INFORMATION PROVIDED BY THE CONTRACTOR FOR ACCURACY. AS BUILT INFORMATION INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING: ALL UTILITIES INCLUDING INVERTS, TOP ELEVATIONS, PIPE LENGTHS AND TYPE OF CONSTRUCTION MATERIAL, SPOT ELEVATIONS ON FORCE MAINS AND WATER LINES, THE DISTANCE OF THE CENTERLINE OF UTILITIES FROM A PERMANENT STRUCTURE, ALL VALVE MANHOLES AND VALVE BOXES SHALL BE LOCATED WITH RESPECT TO A PERMANENT STRUCTURE. GRADES SHALL BE CONFIRMED IN ROADS AND PARKING AREAS AS WELL AS SWALES TO SHOW DIRECTION OF STORMWATER FLOW. THE FINISHED FLOOR ELEVATION SHALL BE SHOWN ON ALL BUILDINGS. IF THE LANDSCAPING IS CHANGED IN ANY WAY AN AS BUILT OF THE LANDSCAPE PLAN IS TO BE SUBMITTED TO THE ENGINEER.
13. ALL NEW DISTURBED AREAS WILL BE GRASSED BY SEEDING OR SPRIGGING IN ACCORDANCE WITH CURRENT VERSION OF THE MANUAL FOR EROSION & SEDIMENT CONTROL, IN GEORGIA, AND AS DIRECTED BY THE ENGINEER.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
15. CONTRACTOR SHALL PROVIDE DUST CONTROL OF ALL DISTURBED AREAS BY THE USE OF WATER AND FAST GROWING, TEMPORARY VEGETATION ON ALL STOCKPILED SOILS.
16. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE INCLUDING ALL EROSION AND SEDIMENT CONTROL MEASURES.
17. ALL EXISTING INLETS AND DITCHES SUBJECT TO STORM WATER RUNOFF FROM THE SITE AND ALL NEW INLETS SHALL BE PROVIDED WITH HAY BALES OR OTHER APPROVED SILT BARRIERS TO MINIMIZE SOIL TRANSPORT OFF SITE BY STORM WATERS.
18. ALL MATERIAL AND INSTALLATION PRACTICES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL MEET THE CURRENT REQUIREMENTS OF THE CITY OF POOLER AND CHATHAM COUNTY DEVELOPMENT REGULATIONS AND SPECIFICATIONS.
19. TESTING - PROVIDE ALL TESTING AS REQUIRED IN THE SPECIFICATIONS. PROVIDE ENGINEER WITH COPY DIRECT FROM TESTING LAB.
20. CONTRACTOR SHALL MAINTAIN SITE ON A DAILY BASIS TO PROVIDE FOR POSITIVE DRAINAGE. CONTRACTOR, AT HIS COST, SHALL GRADE SITE AND PROVIDE NECESSARY TEMPORARY DRAINAGE SWALES TO INSURE STORM WATER DOES NOT POND ON SITE.
21. ANY DETENTION BASINS SHALL BE CONSTRUCTED IN CONJUNCTION WITH CLEARING AND GRADING TO HELP PREVENT THE LOSS OF SEDIMENT FROM THE SITE. THE CONTRACTOR SHALL CLEAN OUT ANY SEDIMENT DEPOSITED IN THE BASINS DURING THE CONSTRUCTION PERIOD SO THAT THE SPECIFIED WATER DEPTH AT NORMAL POOL IS MAINTAINED. THE CONTRACTOR MAY OVER EXCAVATE THE BASINS TO ACCOMPLISH THIS, IF DESIRED, AT HIS OWN EXPENSE AND WITH THE CONCURRENCE OF THE ENGINEER.
22. PRIOR TO CONSTRUCTION, ALL BUILDING AREAS, PLUS 10 FEET ON EACH SIDE AND ALL AREAS TO BE PAVED, SHALL BE STRIPPED OF ALL VEGETATION, TOP SOIL AND ROOT SYSTEMS.
23. SITE DRAINAGE SHALL BE ESTABLISHED TO PREVENT ANY PONDED WATER CONDITIONS WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE RAPID RUN-OFF OF STORM WATER.
24. ANY STUMP HOLES OR OTHER DEPRESSIONS SHALL BE CLEARED OF LOOSE MATERIAL AND DEBRIS AND SHALL THEN BE BACKFILLED WITH APPROVED FILL. THE BACKFILL SHALL BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
25. ANY UTILITIES THAT UNDERLIE THE SITE SHALL BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
26. THE SUBGRADE SHALL BE PROOFROLLED WITH A LOADED DUMP TRUCK TO LOCATE UNSTABLE OR SOFT AREAS. THESE AREAS SHALL THEN BE INVESTIGATED TO DETERMINE THE CAUSE OF THE INSTABILITY. IF DUE TO UNSUITABLE SOIL, SUCH AS HIGHLY ORGANIC SOILS OR SOFT CLAYS, THE AREA SHALL BE UNDERGUT TO A FIRM SOIL AND REPLACED WITH APPROVED FILL COMPACTED IN SIX INCH LIFTS TO MINIMUM DENSITY OF 95% IN ACCORDANCE WITH ASTM-D-1557. IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE SUITABLE SOIL, THE AREA SHALL BE DRAINED AND COMPACTED TO 95% DENSITY. ANY FILL REQUIRED TO LEVEL OR RAISE THE SITE SHOULD THAN BE PLACED IN 6" THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
27. ALL OF THE FILL FOR THIS PROJECT SHALL CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL SHALL BE FREE OF OBJECTIONABLE ROOTS, CLAY LUMPS AND DEBRIS.
28. ALL COMPACTION SHALL BE PERFORMED AT MATERIAL MOISTURE CONTENTS WITHIN 3 PERCENTAGES POINTS, PLUS, OR MINUS, OF OPTIMUM.
29. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CITY OF POOLER CONVEYANCE AND DISTRIBUTION DEPARTMENT.
30. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO FOLLOW THE COMPREHENSIVE MONITORING PLAN PREPARED FOR THE DEVELOPER BY COLEMAN COMPANY, INC.
31. ALL TAPS ON A MAIN FOR SERVICE LATERALS SHALL BE MADE WITH AN ALL STAINLESS STEEL DOUBLE STRAP EPOXY COATED TAPPING SADDLE. THE SIZE OF THE SADDLE SHALL BE WATER MAIN DIAMETER C-900 + 1/2" C. THREAD".
32. ALL FIRE HYDRANTS AND VALVES SHALL BE MANUFACTURED BY AMERICAN, DARLING, MUELLER OR M&H.
33. 50 L.F. OF 6" UNDERDRAIN AND ROCK SHALL BE INSTALLED FROM EACH SIDE OF EACH GRATE INLET. CONTRACTOR SHALL VERIFY THE STATIC WATER ELEVATION OF THE PROPOSED/EXISTING DRAINAGE SYSTEM EACH ROADSIDE INLET IS A COMPONENT OF AND NOT INSTALL THE UNDERDRAIN BELOW THAT STATIC ELEVATION.
34. ANY AND ALL UTILITY CROSSINGS FOR WATER MAINS BETWEEN STORM OR SEWER PIPING SHOULD BE ACCOMPLISHED BY USING OF 45° BENDS BOTH DOWN AND UP.
35. ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, EXCEPT AS NOTED BELOW. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ABUTTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS.
36. CONTRACTOR(S) SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR(S) ARE RESPONSIBLE FOR LOCATING, PROTECTING, REPAIRING, AND REPLACING ANY AND ALL UNDERGROUND UTILITIES DURING ALL PHASES OF CONSTRUCTION. COLEMAN COMPANY, INC. HAS MADE A DILIGENT EFFORT TO LOCATE ALL ABOVE AND BELOW GROUND UTILITIES BUT CANNOT GUARANTEE THAT ALL PRESENT UTILITIES HAVE BEEN IDENTIFIED. CONTRACTOR SHALL CALL UTILITY PROTECTION CENTER (1-800-282-7411) AT LEAST SEVENTY TWO (72) HOURS PRIOR TO DIGGING AND SHALL NOT BEGIN DIGGING UNTIL ALL UNDERGROUND UTILITY LOCATIONS ARE COMPLETE.
37. ALL DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED AT THE CONTRACTOR'S EXPENSE.
38. A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR GRAVITY SEWER AND FORCE MAINS AT APPROXIMATELY 30" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO MANHOLE RINGS. ON PIPE RUNS GREATER THAN 500', THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.
39. ALL SANITARY SEWER LATERALS SHALL BE PROPERLY MARKED AT THE POINT WHERE LATERALS TERMINATE WITH PVC PIPE PAINTED GREEN. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. LATERALS SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.
40. A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR WATER MAINS AT APPROXIMATELY 10" TO 24" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO CURB STOPS AND BROUGHT TO TOP OF VALVE. ON PIPE RUNS GREATER THAN 500', THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.
41. ALL WATER SERVICES SHALL BE PROPERLY MARKED ABOVE GROUND WITH PVC PIPE PAINTED BLUE. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. SERVICES SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.
42. TRACER WIRE SHALL BE REQUIRED ON ALL STORM PIPE.
43. THE CONTRACTOR SHALL HAVE APPROVED PLANS ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.
44. THE CONTRACTOR SHALL HAVE A CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR ON SITE AT ALL TIMES

DURING LAND DISTURBING ACTIVITIES.

- 45. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF POOLER AND CHATHAM COUNTY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
46. ALL CURB AND GUTTER TO BE 18" MOUNTABLE CONCRETE CURB AND GUTTER UNLESS OTHERWISE NOTED THE PLANS.
47. FOR CITY WATER AND SEWER LINE LOCATIONS, CONTACT THE UTILITIES PROTECTION CENTER (1-800-282-7411) A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
48. THE CONTRACTOR SHALL BECOME FAMILIAR WITH GEOTECHNICAL ENGINEERING REPORT PREPARED FOR THIS PROJECT BY WHITAKER LABORATORY INC. A COPY CAN BE OBTAINED, AT CONTRACTOR'S EXPENSE, EITHER DIRECTLY FROM WHITAKER OR FROM THE ENGINEER.
49. STORM SEWER SPECIFICATIONS FOR MANHOLE COVER IN STREET:
GENERAL: ALL CASTINGS SHALL BE MANUFACTURED IN THE UNITED STATES OF AMERICA BY NEENAH FOUNDRY COMPANY, U.S. FOUNDRY & MANUFACTURING CORPORATION, EAST JORDAN IRON WORKS, INC. OR APPROVED EQUAL. THEY SHALL BE OF UNIFORM QUALITY, FREE FROM SAND HOLES, SHRINKAGE, CRACKS, COLD SHUTS OR OTHER DEFECTS. CASTINGS SHALL BE SMOOTH AND WELL CLEANED BY SHOT BLASTING.
MATERIALS: GRAY IRON CASTINGS SHALL BE MANUFACTURED FROM IRON CONFORMING TO ASTM A48 CLASS 35B AND ASTM A48 CLASS 30. DUCTILE IRON CASTINGS SHALL BE MANUFACTURED TRUE TO PATTERN AND COMPONENT PARTS SHALL FIT TOGETHER PROPERLY. ROUND MANHOLE FRAMES, COVERS AND GRATES SHALL HAVE MACHINED BEARING SURFACES TO PREVENT ROCKING. TOLERANCES SHALL BE ACCEPTED FOUNDRY STANDARDS AS OUTLINED IN THE IRON CASTINGS HANDBOOK PUBLISHED BY THE AMERICAN FOUNDRYMEN'S SOCIETY, INC. CASTINGS WEIGHT SHALL NOT VARY MORE THAN 5% ABOVE OR BELOW THOSE VALUES REPRESENTED BY THE MANUFACTURER.
MARKINGS: ALL CASTINGS SHALL BE CLEARLY MARKED WITH THE MANUFACTURER'S NAME, COMPANY LOGO AND "MADE IN USA" IN CAST LETTERS. ADDITIONALLY, THE TOP OR TRAFFIC SIDE OF ALL CASTINGS SHALL BE CLEARLY MARKED "STORM" AND "CITY OF POOLER" IN FLUSH CAST LETTERS AND THE TOP OR TRAFFIC SIDE OF ALL CASTINGS DESIGNED TO COLLECT WATER, (CATCH BASINS, GRATES, ETC.) SHALL BE CLEARLY MARKED "DRAINS TO RIVER - DO NOT DUMP" OR SIMILAR VERBIAGE THAT ACHIEVES THE SAME MEANING.

INTERNATIONAL FIRE CODE, 2021 EDITION:

- SECTION 3310 ACCESS FOR FIREFIGHTING REQUIRED ACCESS. APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET (30.5 METERS) OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
SECTION 3313 WATER SUPPLY FOR FIRE PROTECTION 3313.1 AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE, ON COMMENCEMENT OF VERTICAL COMBUSTIBLE CONSTRUCTION AND ON INSTALLATION OF A STANDPIPE SYSTEM IN BUILDINGS UNDER CONSTRUCTION, IN ACCORDANCE WITH SECTIONS 3313.2 THROUGH 3313.5.

IN THE CASE OF ANY CONFLICT OF THESE CONSTRUCTION DOCUMENTS AND THE CITY OF POOLER CODED ORDINANCES, STANDARDS, SPECIFICATIONS, OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE.

PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION EXIT SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY INTO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC RIGHT OF WAY. THE CONSTRUCTION EXIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS, MATERIALS, DIMENSIONS, ETC. AS DESCRIBED IN THE CURRENT VERSION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSIONS' MANUAL FOR EROSION AND SEDIMENT CONTROL.

CONSTRUCTION WILL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED ENGINEER.

ADA NOTES:

- 1. ACCESSIBLE ROUTE - EXTERIOR: MINIMUM CLEAR WIDTH IS 3'. IF ACCESSIBLE ROUTE HAS LESS THAN 5' CLEAR WIDTH, THEN PASSING SPACES AT LEAST 5'X5' SHALL BE LOCATED EVERY 20' OR LESS. INTERSECTING SIDEWALKS MEET THIS REQUIREMENT. LONGITUDINAL (RUNNING) SLOPE MAY NOT EXCEED 5% UNLESS RAMP IS INSTALLED (RAMPS MAY NOT EXCEED 8.33%). CROSS SLOPE MAY NOT EXCEED 2%. GAPS IN ROUTE MAY NOT EXCEED 1/2" IN WIDTH.
2. FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS: A. 0 TO 1/4" : NO REQUIREMENTS B. 1/4" TO 1/2" : BEVEL WITH 1:2 SLOPE C. LARGER THAN 1/2" : CONFORM TO REQUIREMENTS FOR RAMP
3. RAMPS: MAX RAMP SLOPE 8.33% (1:12) RAMPS STEEPER THAN 8.33% ARE NOT ACCEPTABLE MAX RISE FOR ANY RAMP RUN IS 30" AT 8.33% SLOPE, MAXIMUM RUN OF RAMP IS 30' MAX CROSS SLOPE OF RAMP 2% (1:50)
A. LANDINGS: RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP. LANDINGS SHALL BE AT LEAST AS WIDE AS RAMP LEADING TO IT. LANDING LENGTH SHALL BE MINIMUM 5' CLEAR IF RAMPS CHANGE DIRECTION AT LANDING, MINIMUM LANDING SIZE SHALL BE 5'X5'. ALL LANDINGS ARE TO BE NO MORE THAN 2% SLOPE IN ANY DIRECTION.
B. HANDRAILS: HANDRAILS REQUIRED ON BOTH SIDES (MIN. 36" CLEAR BETWEEN HANDRAILS) WHEN RAMP RISE IS GREATER THAN 6". PROVIDE MINIMUM 12" LONG HANDRAIL EXTENSIONS AT TOP AND BOTTOM LANDINGS. PROVIDE MINIMUM 2" HIGH EDGE PROTECTION OR RAIL WITH LESS THAN 4" CLEAR TO RAMP IF RAMP HAS DROP-OFFS. ROUTES BETWEEN BUILDINGS WITH ONLY DWELLING UNITS DO NOT HAVE TO HAVE HANDRAILS. STAIRS NOT ALLOWED AS PART OF ACCESSIBLE ROUTE BUT IF ADJACENT TO ROUTE OR PART OF TENANT SPACE MUST MEET REQUIREMENTS FOR STAIR RAILS.
4. CURB RAMPS: MAX SLOPE OF CURB RAMP 8.33% MAX SLOPE OF SIDE FLARES 10% MAX SLOPE OF ADJOINING GUTTERS, ROAD SURFACE, OR ACCESSIBLE ROUTE 5% MIN WIDTH 36" (NOT INCLUDING SIDE FLARES). DETECTABLE WARNING IS REQUIRED ON CURB RAMPS IN PUBLIC RIGHT OF WAYS, AND SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE.
5. PAVEMENT MARKINGS: AS REQUIRED BY LOCAL JURISDICTIONAL AUTHORITY (RECOMMENDED CROSSWALK MARKING TO DESIGNATE ACCESSIBLE PEDESTRIAN ROUTE)
6. PARKING SPACES: MINIMUM 8' WIDE ACCESSIBLE PARKING SPACE. MINIMUM 5' WIDE ACCESS AISLE AT STANDARD SPACES. MINIMUM 8' WIDE ACCESS AISLE AT VAN ACCESSIBLE SPACES. MAXIMUM 2% (1:50) SLOPE IN ANY DIRECTION
7. SIGNAGE: ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL. SUCH SIGNS SHALL BE LOCATED SO THEY CANNOT BE OBTSCURED BY A VEHICLE PARKED IN THE SPACE (SIGNAGE TO BE INSTALLED AT A MINIMUM HEIGHT OF 7' TO BOTTOM OF VAN ACCESSIBLE DESIGNATION, AND 7' MINIMUM TO THE BOTTOM OF ALL OTHER SIGN FACES).
8. ACCESSIBLE ROUTES: MUST COMPLY WITH ADA, THE FAIR HOUSING ACT AND ICC/ANSI 117.1-2003

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): NEIL P MCKENZIE, PE
GEORGIA PE NUMBER: PE036652
GSWCC LEVEL II CERTIFICATION NUMBER: 44944

WATER - SEWER NOTES:

- 1. HIGHLY CHLORINATED WATER USED IN THE DISINFECTION PROCESS SHALL BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION SPECIFICATIONS.
2. ANY PIPE, SOLDER AND FLUX USED DURING INSTALLATION OF THE WATER LINES SHALL BE "LEAD FREE" IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION SPECIFICATIONS.
3. MAINTAIN MINIMUM HORIZONTAL/VERTICAL CLEARANCE IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION SPECIFICATIONS.
4. WHERE THE WATER MAIN CROSSES SEWER OR STORM PIPES, THE WATER LINE SHALL BE DUCTILE IRON IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION SPECIFICATIONS.
5. THE CONTRACTOR IS RESPONSIBLE TO BRING PROPOSED MANHOLE TOPS TO GRADE.
6. MAXIMUM COVER FOR THE WATER MAIN SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION SPECIFICATIONS.
7. CONTRACTOR TO VERIFY ALL INVERT ELEVATIONS OF SANITARY SEWER LATERALS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INVERT DATA TO INSURE THERE ARE NO CONFLICTS.
8. ALL FILLING AND HYDROSTATIC TESTING OF NEW MAINS SHALL BE COORDINATED WITH AND WITNESSED BY THE CITY'S INSPECTOR.
9. INTERNAL FIRE SPRINKLER PROTECTION IS TO BE DESIGNED AND SUBMITTED SEPARATELY, BY OTHERS, TO BUILDING INSPECTIONS AS NECESSARY.
10. INDUSTRIAL WASTEWATER DISCHARGE IS NOT ANTICIPATED NOR DESIGNED FOR WITH THIS DEVELOPMENT.

IN ADDITION TO THE SEDIMENTATION AND EROSION CONTROL MEASURES AS INDICATED ON THE PLANS THE CONTRACTOR SHALL TAKE WHATEVER ACTIONS AS ARE NECESSARY TO ENSURE THAT ALL SEDIMENTATION IS CONFINED TO THE SITE AND THAT NO OFFSITE EROSION IS CAUSED BY THE WORK EITHER DIRECTLY OR INDIRECTLY.

DEVELOPMENT REQUIREMENTS:

- FRONT SETBACK: 30-FT
SIDE YARD SETBACKS: 5-FT (INTERIOR) , 30-FT (CORNER)
REAR YARD SETBACK: 25-FT
OPEN SPACE REQD: 10% OF DISTURBED AREA = 0.10 x 18.52 ACRES = 1.85 ACRES
OPEN SPACE PROVIDED: 11.82 ACRES > 1.85 ACRES
*PER PUD - FRONT SETBACK CAN VARY TO A MIN. 10' FROM R.O.W. TO PROMOTE STAGGERED FRONTAGES CANOPY SETBACK FROM R.O.W. 45.22'
MAX. BUILDING HEIGHT: TWO STORIES
MAXIMUM IMPERVIOUS AREA PER LOT: 60%

SITE INFORMATION:

PARENT PIN: 51015 01034
ZONING DISTRICT: PUD - PLANNED UNIT DEVELOPMENT
FLOOD ZONE: AE-20, X & X-SHADED
SIZE: + 59.97 AC
PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL

POOLER STANDARD CONSTRUCTION NOTES:

- STREETS:
IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCE, STANDARDS, SPECIFICATIONS OR DETAILS, THE CITY OF POOLER REQUIREMENTS SHALL BE REQUIRED.
WHEN NEW PUBLIC STREETS ARE BEING CONSTRUCTED; LABORATORY COMPACTION, STABILITY, AND DENSITY TESTS ARE REQUIRED FOR THE PAVEMENT WITH COMPRESSION TESTS FOR THE CONCRETE CURB AND GUTTER. (CHAPTER 74, ARTICLE V, SECTION 74-133C)
WHEN NEW PUBLIC STREETS ARE BEING CONSTRUCTED; CONSTRUCTION WILL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED ENGINEER. (CHAPTER 74, ARTICLE V, SECTION 74-133J)
ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS. (MUTCD INTRODUCTION, PAGE 1; PARAGRAPH 03)
THERMOPLASTIC PAVEMENT MARKINGS ARE REQUIRED WITHIN RIGHT OF WAY (STANDARD SPECIFICATIONS 02500.2.06)
PETROMAT, SUPJEX OR OTHER SUITABLE MATERIAL IS REQUIRED WITHIN 50 FEET OF INTERSECTIONS. (APPENDIX B, ARTICLE VI, SECTION 601.02)
SELECT FILL SHALL BE USED IN ALL ROADS DEDICATED TO THE CITY.
ROAD FILL FOR SUBGRADE SHALL BE COMPACTED TO 100% STANDARD PROCTOR OF 95% MODIFIED PROCTOR (ASTM D 698)
TRAFFIC SIGNS INSTALLED INSIDE THE PUBLIC RW MUST HAVE HIGH INTENSITY OR DIAMOND GRADE SHEETING.
STREET NAME SIGNS SHALL BE PROVIDED BY THE DEVELOPER. (CHAPTER 74, ARTICLE V, SECTION 74-135)
ALL ROADS SHALL BE PUBLICLY OWNED AND MAINTAINED WITHIN A 60' PUBLIC RIGHT OF WAY.
THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN. (CHAPTER 42, ARTICLE V, SECTION 42-180.4(6))
THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA. (CHAPTER 42, ARTICLE V, SECTION 42-180.4(5))

- WATER AND SEWER NOTES:
ALL SANITARY SEWER CLEANOUTS SHALL BE FLOOD PROOFED TO PREVENT INFILTRATION OF FLOOD WATERS INTO THE SYSTEM (APPENDIX B, ARTICLE VI, SECTION 606.01).
ALL VALVES SHALL HAVE A CONCRETE MONUMENT WITH "W/VALVE" INSCRIBED ON TWO SIDES OF THE MONUMENT, INSTALLED NO MORE THAN 6' AWAY FROM THE VALVE (APPENDIX B, ARTICLE VI, SECTION 606 WATER 9).
BASE FLOOD ELEVATION IS 20.00 (NAVD88). ALL SANITARY SEWER MANHOLES WITH TOPS LOWER THAN ELEVATION 21.00 SHALL HAVE WATER TIGHT RINGS AND COVERS.
ALL FIRE HYDRANTS SHALL BE PAINTED YELLOW (APPENDIX, ARTICLE VI, SECTION 606).
BOTH WATER AND SANITARY SEWER ARE TO BE PUBLICLY OWNED AND MAINTAINED.

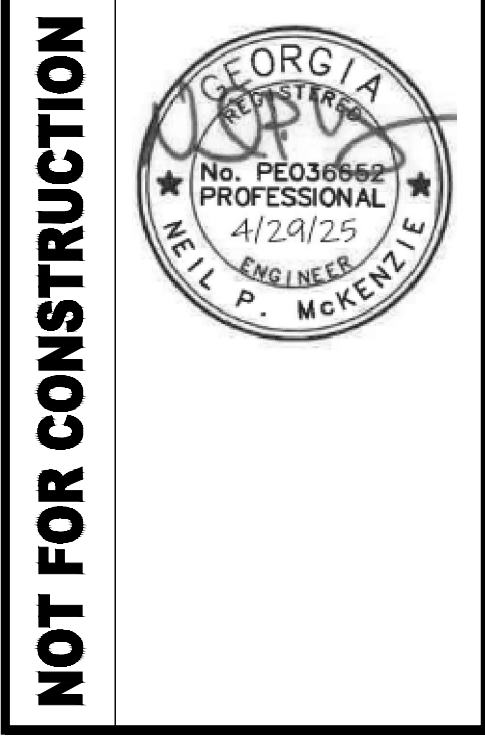
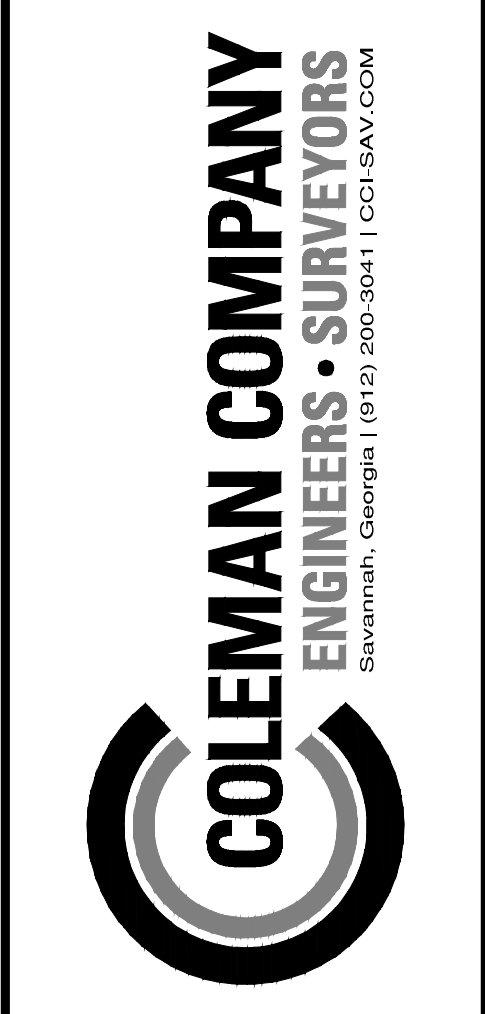


Table with 2 columns: REVISIONS, Description of revisions.

CIVIL CONSTRUCTION PLANS FOR FOREST LAKES SUBDIVISION SECONDARY ACCESS ROAD LOCATED IN POOLER, GEORGIA PREPARED FOR GODLEY STATION WEST, LLC

JOB NUMBER: 23-533.000
DATE: 11/07/2024
DRAWN BY: RCC
CHECKED BY: NPM
SCALE: AS NOTED

CONSTRUCTION NOTES

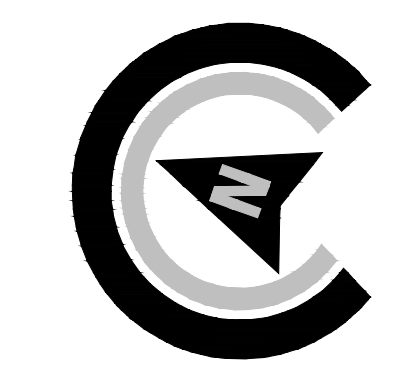
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Know what's below. Call before you dig.



NOTE:
- NO SIGNIFICANT TREES ARE IMPACTED BY THE DEVELOPMENT.

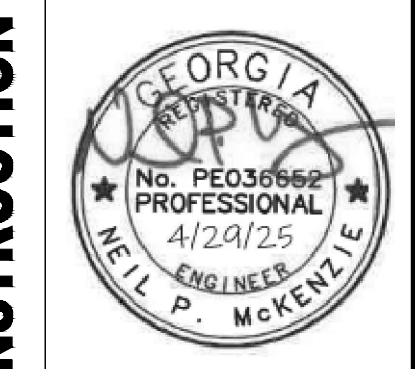


SCALE: 1"=50'
0' 25' 50' 100'



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REVISIONS:

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CIVIL CONSTRUCTION PLANS FOR
FOREST LAKES SUBDIVISION
SECONDARY ACCESS ROAD
LOCATED IN POOLER, GEORGIA
PREPARED FOR GODLEY STATION WEST, LLC

JOB NUMBER: 23-533.000
DATE: 11/07/2024
DRAWN BY: RCC
CHECKED BY: NPM
SCALE: AS NOTED

EXISTING
CONDITIONS

SHEET:
C2.0

- SEQUENCE OF CONSTRUCTION**
1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
 2. REMOVE DESIGNATED TREES AND CLEAR, GRUB AND GRADE SITE.
 3. LIMIT CLEARING AND GRUBBING OF SITE TO ONLY AREAS NECESSARY FOR CONSTRUCTION AS SHOWN.
 4. INSTALL UNDERGROUND UTILITIES INCLUDING STORM SYSTEMS.
 5. MASS GRADE SITE TO FINAL ELEVATIONS.
 6. STABILIZE ALL REMAINING DISTURBED AREAS.
 7. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND STABILIZE DISTURBED AREAS ACCORDINGLY.

SEDIMENT STORAGE REQUIREMENTS:

OUTFALL #1 [PRE BASIN #1]:

TEMPORARY SEDIMENT STORAGE TRAP:
 ± 1.32 AC
 1.32 AC X 67 C.Y./AC = 88.44 C.Y. X 27 C.F./C.Y. = 2,388 C.F.
 REQUIRED STORAGE:
 STORAGE PROVIDED W/ S04-C: (TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = STORAGE AREA [S.F.]
 STORAGE AREA [S.F.] X DEPTH = PROVIDED STORAGE VOLUME [C.F.]

STATIC ELEV. (20.00) AREA: 3,000 S.F.
 BOTTOM ELEV. (16.00) AREA: 1,176 S.F.
 20.00 - 16.00 = 4.00 FT
 (3,000 + 1,176)/2 = 4,176/2 = 2,088 X 4.00' DEPTH X 0.4(40%) = 3,340.8 C.F.
 TOTAL PROVIDED STORAGE FOR OUTFALL #1: 3,341 C.F.
 3,341 C.F. > 2,388 C.F. THEREFORE, ADEQUATE STORAGE IS PROVIDED

OUTFALL #2 [PRE BASIN #2]:

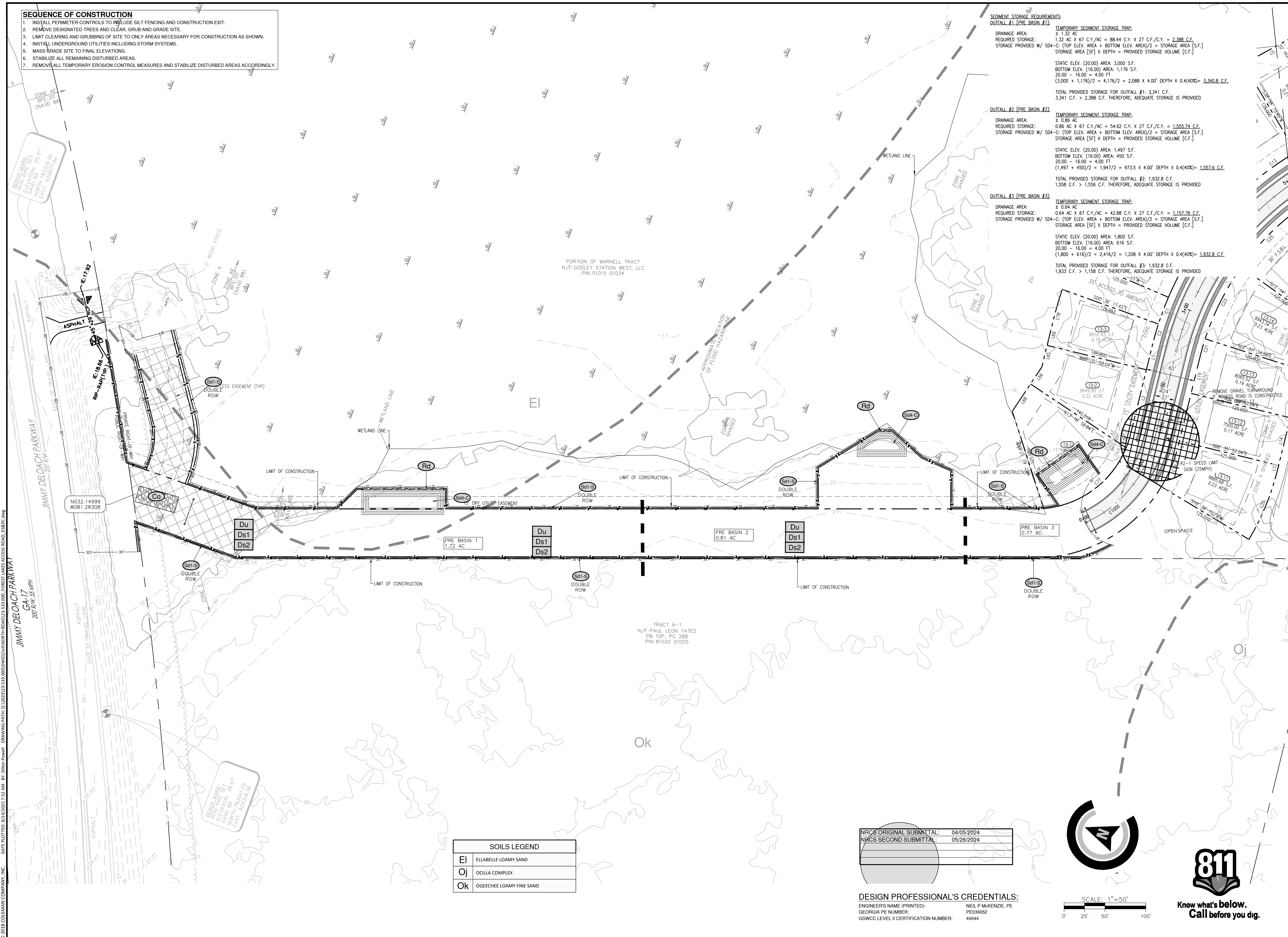
TEMPORARY SEDIMENT STORAGE TRAP:
 ± 0.86 AC
 0.86 AC X 67 C.Y./AC = 57.62 C.Y. X 27 C.F./C.Y. = 1,556.74 C.F.
 REQUIRED STORAGE:
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STATIC ELEV. (20.00) AREA: 1,497 S.F.
 BOTTOM ELEV. (16.00) AREA: 450 S.F.
 20.00 - 16.00 = 4.00 FT
 (1,497 + 450)/2 = 1,947/2 = 973.5 X 4.00' DEPTH X 0.4(40%) = 1,557.6 C.F.
 TOTAL PROVIDED STORAGE FOR OUTFALL #2: 1,558 C.F.
 1,558 C.F. > 1,556 C.F. THEREFORE, ADEQUATE STORAGE IS PROVIDED

OUTFALL #3 [PRE BASIN #3]:

TEMPORARY SEDIMENT STORAGE TRAP:
 ± 0.64 AC
 0.64 AC X 67 C.Y./AC = 42.88 C.Y. X 27 C.F./C.Y. = 1,157.76 C.F.
 REQUIRED STORAGE:
 STORAGE PROVIDED W/ S04-C: (TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = STORAGE AREA [S.F.]
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STATIC ELEV. (20.00) AREA: 1,800 S.F.
 BOTTOM ELEV. (16.00) AREA: 616 S.F.
 20.00 - 16.00 = 4.00 FT
 (1,800 + 616)/2 = 2,416/2 = 1,208 X 4.00' DEPTH X 0.4(40%) = 1,932.8 C.F.
 TOTAL PROVIDED STORAGE FOR OUTFALL #3: 1,932.8 C.F.
 1,933 C.F. > 1,158 C.F. THEREFORE, ADEQUATE STORAGE IS PROVIDED



© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 8/14/2025 7:52 AM. BY: Dillon Rowell. DRAWING PATH: C:\2023\13-533-000\DWG\CIVIL\NORTH ROAD\13-533-000_FOREST LAKES ACCESS ROAD_ES&PC.dwg

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REVISIONS:

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ES&PC CONTROL PLANS FOR
FOREST LAKES SUBDIVISION
 SECONDARY ACCESS ROAD
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR GODLEY STATION WEST, LLC

JOB NUMBER: 23-533.000
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INITIAL ES&PC PLAN

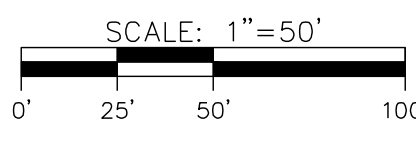
SHEET:
CE1.0

SOILS LEGEND

| | |
|----|--------------------------|
| EI | ELLABELLE LOAMY SAND |
| OJ | OCILLA COMPLEX |
| OK | OGEECHEE LOAMY FINE SAND |

NRCS ORIGINAL SUBMITTAL: 04/05/2024
 NRCS SECOND SUBMITTAL: 05/28/2024

DESIGN PROFESSIONAL'S CREDENTIALS:
 ENGINEER'S NAME (PRINTED): NEIL P. MCKENZIE, PE
 GEORGIA PE NUMBER: PE036652
 GSWCC LEVEL II CERTIFICATION NUMBER: 44944



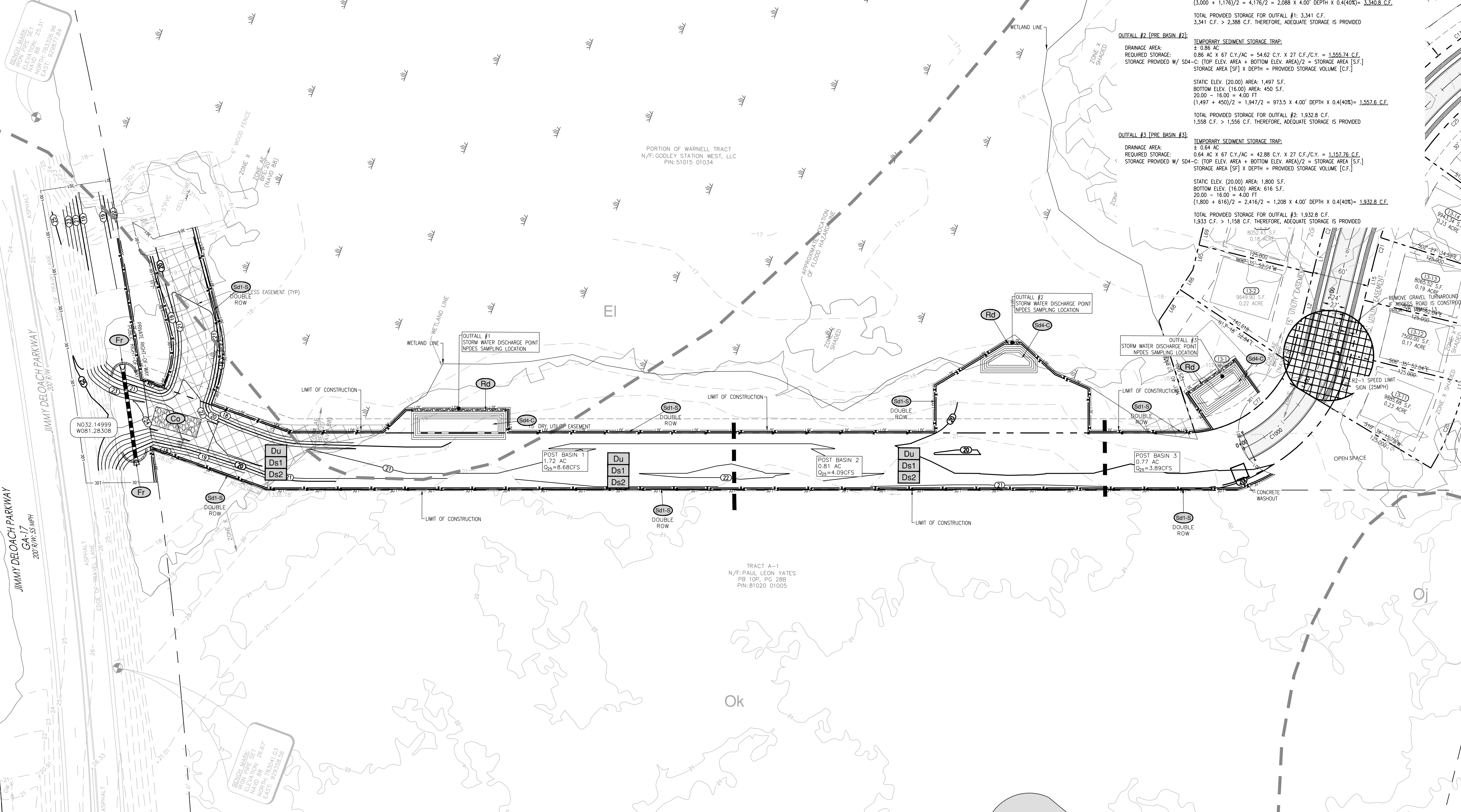
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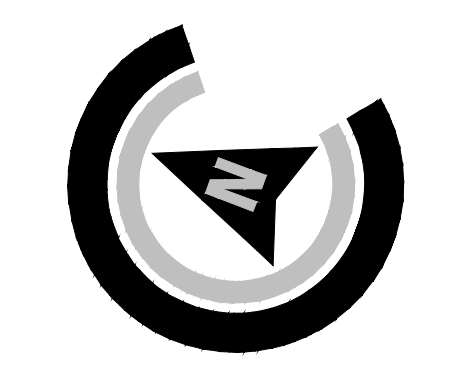
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SOILS LEGEND

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| EI | ELLABELLE LOAMY SAND |
| OJ | OCILLA COMPLEX |
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|--------------------------|------------|
| NRCS ORIGINAL SUBMITTAL: | 04/05/2024 |
| NRCS SECOND SUBMITTAL: | 05/28/2024 |



SCALE: 1"=50'



DESIGN PROFESSIONAL'S CREDENTIALS:
 ENGINEER'S NAME (PRINTED): NEIL P. MCKENZIE, PE
 GEORGIA PE NUMBER: PE036652
 GSWCC LEVEL II CERTIFICATION NUMBER: 44944

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REVISIONS:

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ES&PC CONTROL PLANS FOR
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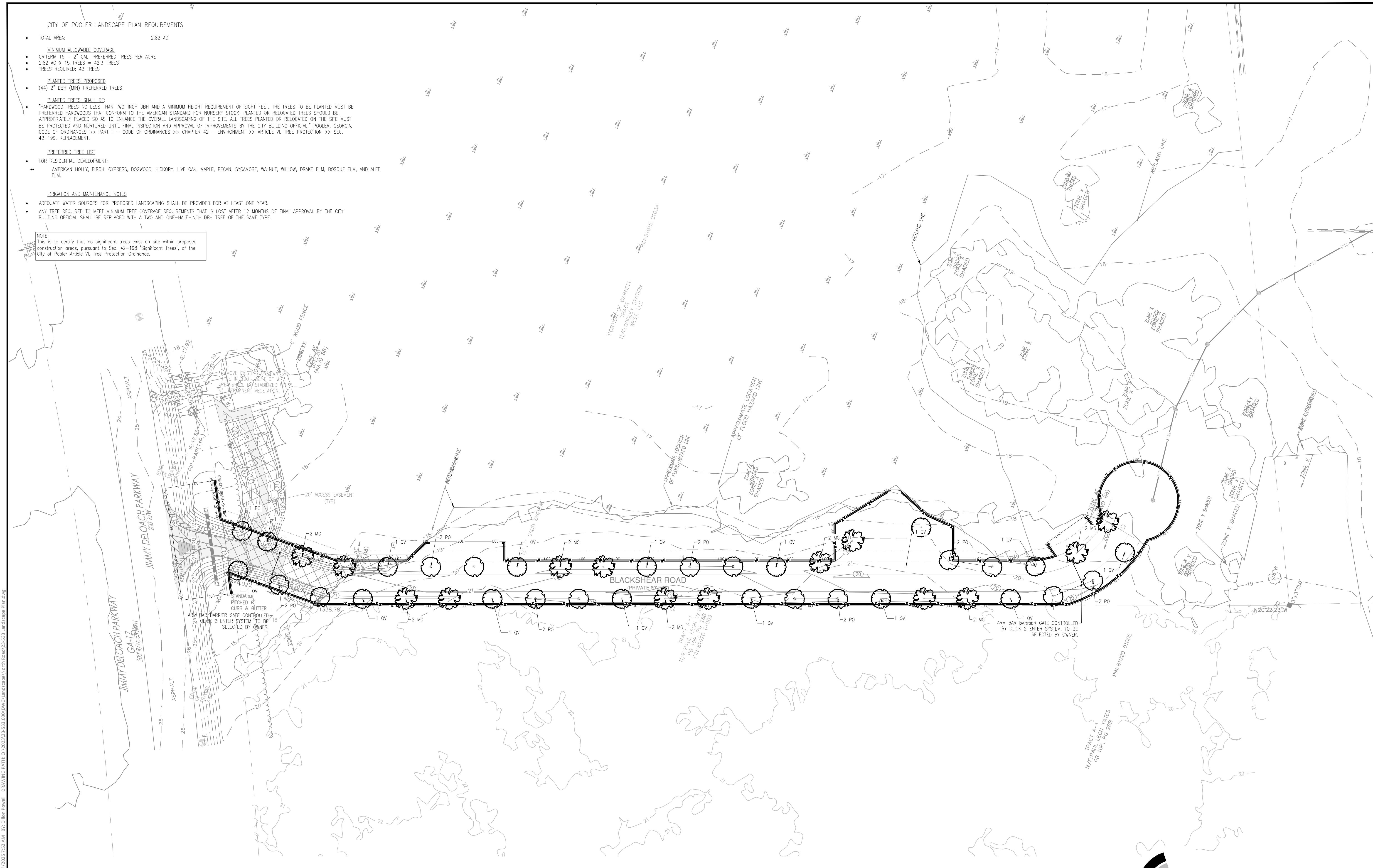
INTERMEDIATE
 ES&PC PLAN

SHEET:
CE2.0

CITY OF POOLER LANDSCAPE PLAN REQUIREMENTS

- TOTAL AREA: 2.82 AC
- MINIMUM ALLOWABLE COVERAGE
- CRITERIA 15 - 2" CAL. PREFERRED TREES PER ACRE
- 2.82 AC X 15 TREES = 42.3 TREES
- TREES REQUIRED: 42 TREES
- PLANTED TREES PROPOSED
- (44) 2" DBH (MIN) PREFERRED TREES
- PLANTED TREES SHALL BE:
 - *HARDWOOD TREES NO LESS THAN TWO-INCH DBH AND A MINIMUM HEIGHT REQUIREMENT OF EIGHT FEET. THE TREES TO BE PLANTED MUST BE PREFERRED HARDWOODS THAT CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTED OR RELOCATED TREES SHOULD BE APPROPRIATELY PLACED SO AS TO ENHANCE THE OVERALL LANDSCAPING OF THE SITE. ALL TREES PLANTED OR RELOCATED ON THE SITE MUST BE PROTECTED AND NURTURED UNTIL FINAL INSPECTION AND APPROVAL OF IMPROVEMENTS BY THE CITY BUILDING OFFICIAL. POOLER, GEORGIA. CODE OF ORDINANCES >> PART II - CODE OF ORDINANCES >> CHAPTER 42 - ENVIRONMENT >> ARTICLE VI. TREE PROTECTION >> SEC. 42-199. REPLACEMENT.
- PREFERRED TREE LIST
 - FOR RESIDENTIAL DEVELOPMENT:
 - AMERICAN HOLLY, BIRCH, CYPRESS, DOGWOOD, HICKORY, LIVE OAK, MAPLE, PECAN, SYCAMORE, WALNUT, WILLOW, DRAKE ELM, BOSQUE ELM, AND ALEE ELM.
- IRRIGATION AND MAINTENANCE NOTES
 - ADEQUATE WATER SOURCES FOR PROPOSED LANDSCAPING SHALL BE PROVIDED FOR AT LEAST ONE YEAR.
 - ANY TREE REQUIRED TO MEET MINIMUM TREE COVERAGE REQUIREMENTS THAT IS LOST AFTER 12 MONTHS OF FINAL APPROVAL BY THE CITY BUILDING OFFICIAL SHALL BE REPLACED WITH A TWO AND ONE-HALF-INCH DBH TREE OF THE SAME TYPE.

NOTE:
This is to certify that no significant trees exist on site within proposed construction areas, pursuant to Sec. 42-198 "Significant Trees", of the City of Pooler Article VI, Tree Protection Ordinance.

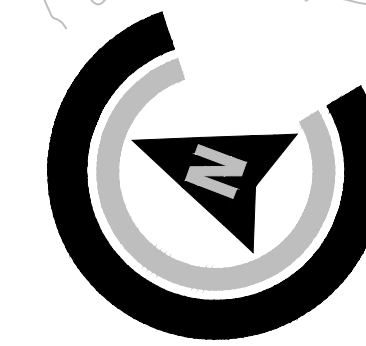


LANDSCAPE KEY

| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | COMMENTS |
|-----|-----------|---------------------------------------|-------------------------|--------------------|----------|--|
| MG | 14 | MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD' | D.D. BLANCHARD MAGNOLIA | 2" CAL., 12-14' HT | AS SHOWN | SINGLE TRUNK, WELL BALANCED HEAD, 6' CLEAR |
| PO | 15 | PLATANUS OCCIDENTALIS | AMERICAN SYCAMORE | 2" CAL., 12-14' HT | AS SHOWN | SINGLE TRUNK, WELL BALANCED HEAD, 6' CLEAR |
| QV | 15 | QUERCUS VIRGINIANA | LIVE OAK | 2" CAL., 12-14' HT | AS SHOWN | SINGLE TRUNK, WELL BALANCED HEAD, 6' CLEAR |
| | 44 | TOTAL TREES | | | | |

NOTES:

- PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST.
- ALL PLANTS/PLANT BEDS SHALL RECEIVE A 3" LAYER OF FRESH PINE STRAW MULCH.
- THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES ±0.2' WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS.
- SEE SPECIFICATIONS THIS SHEET FOR FURTHER INSTRUCTIONS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL SHALL BE SPREAD BY THE GRADING CONTRACTOR TO A DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. GRADING CONTRACTOR SHALL PROVIDE STOCKPILED TOPSOIL FOR LANDSCAPE CONTRACTOR USE FOR BACKFILLING LANDSCAPE ISLANDS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL SIZES SPECIFIED REFER TO THE SIZE AT THE TIME OF PLANTING.



SCALE: 1"=60'
0' 30' 60' 120'



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REGISTERED
LAWYER
M. GEHLER
PROFESSIONAL
11/07/24
LANDSCAPE ARCHITECT
M. GEHLER

REVISIONS:

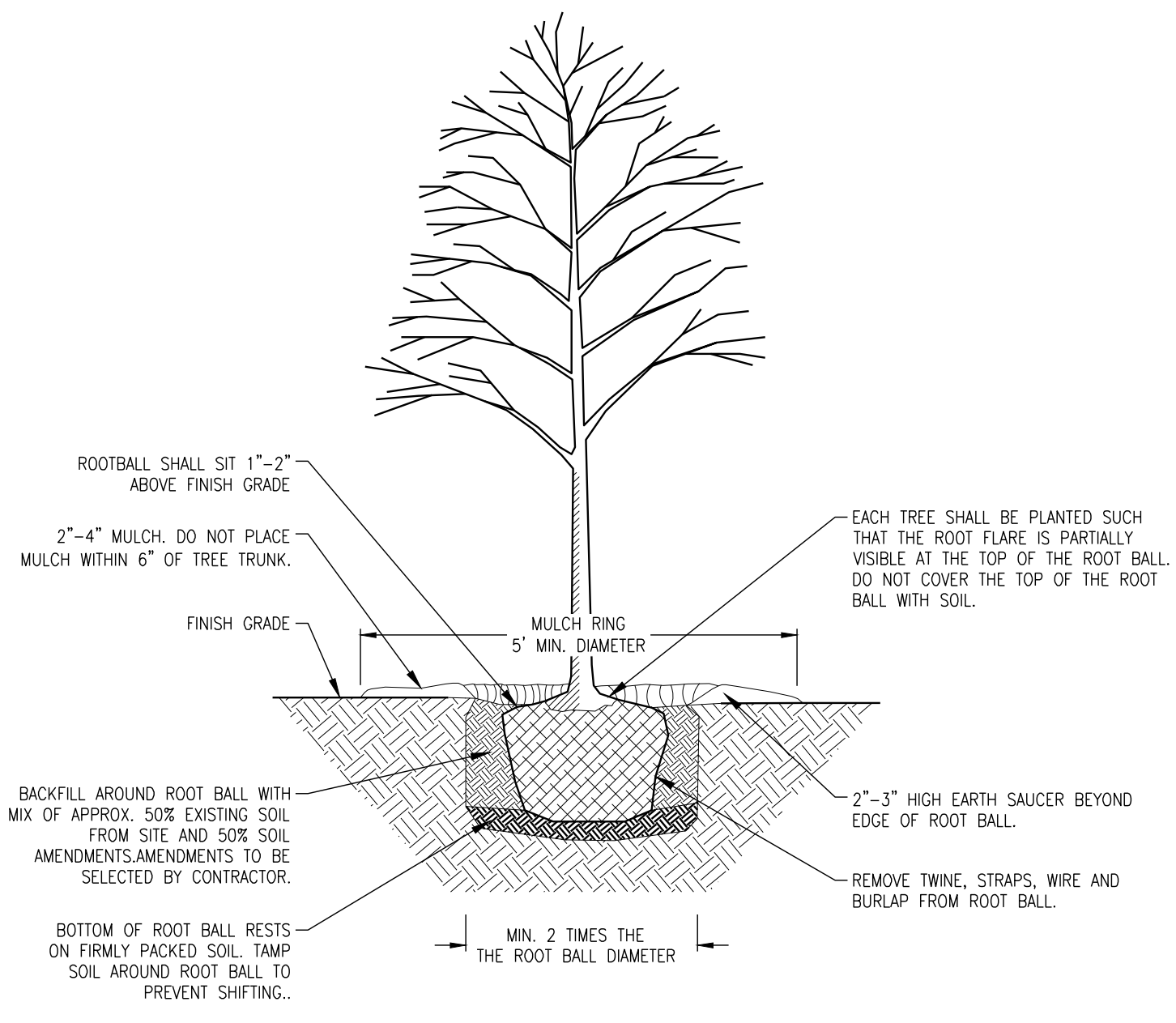
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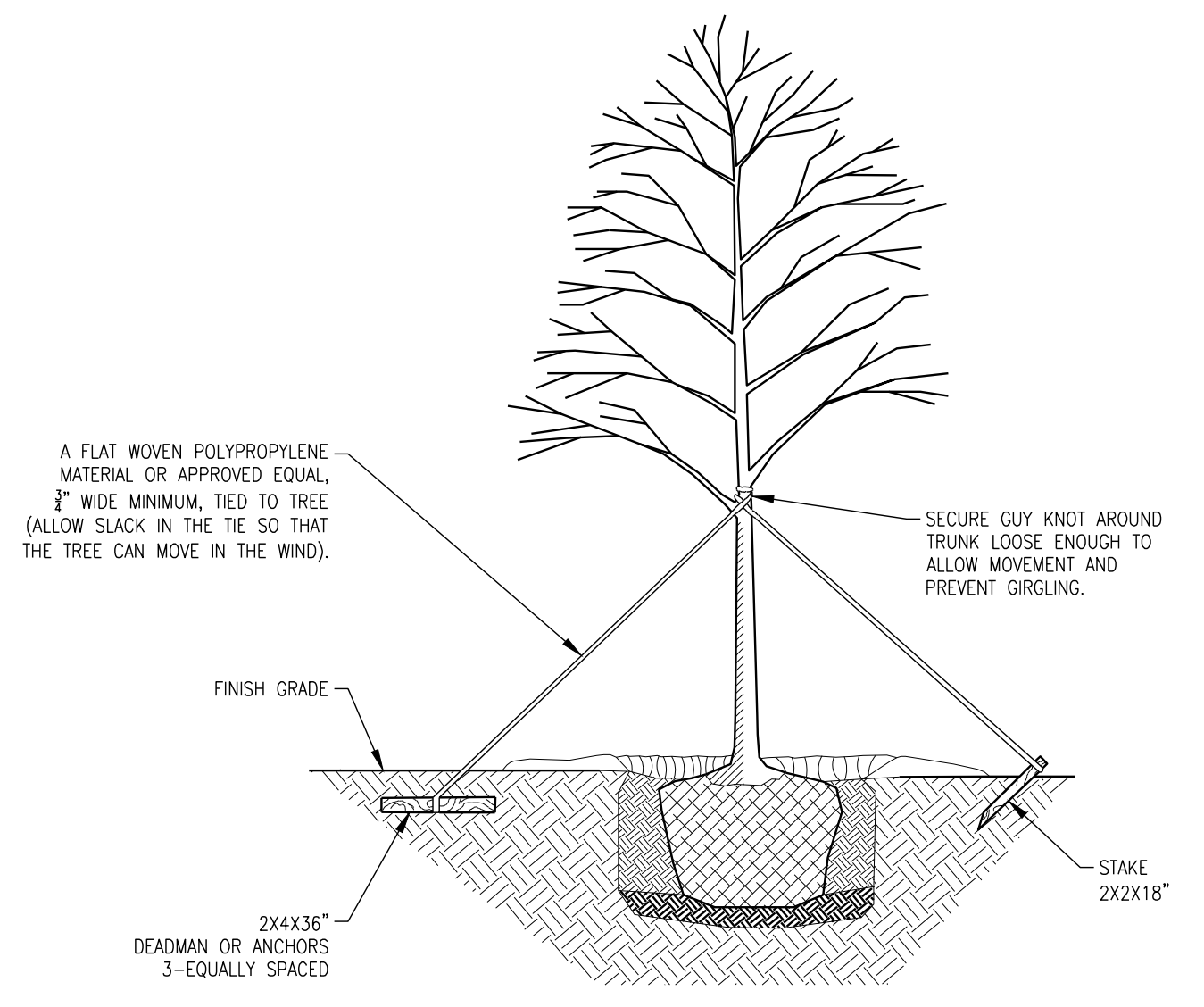
LANDSCAPE PLAN

SHEET:
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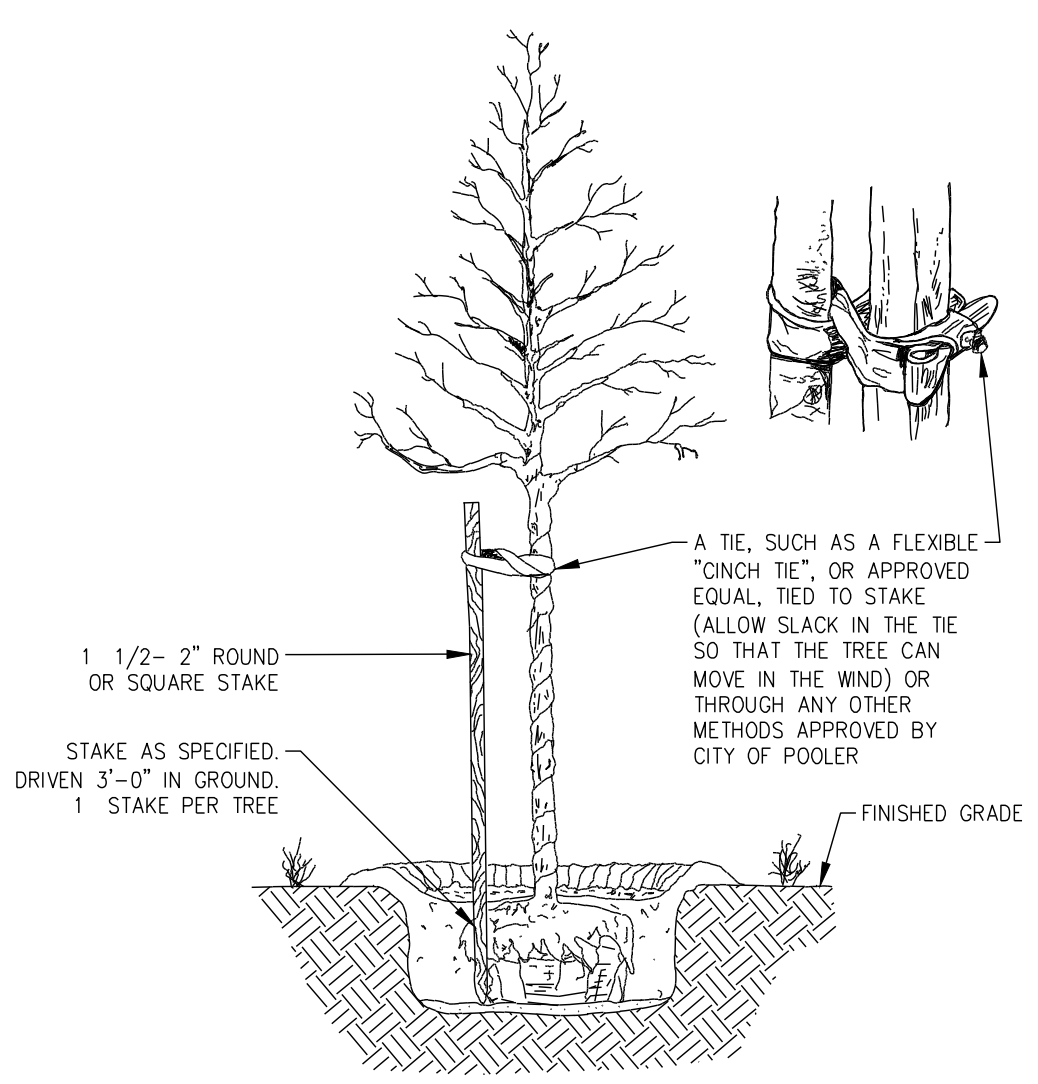
- NOTE:**
- TREES SHALL BE PRUNED IMMEDIATELY AFTER PLANTING TO REMOVE DEAD, BROKEN, DISEASED, DYING OR RUBBING BRANCHES. CO-DOMINANT STEMS LESS THAN 4" IN DIAMETER AT THE FORK SHALL BE PRUNED OFF AND ONE MAIN STEM REMAIN. TREE TOPPING OR HEADING IS NOT PERMITTED AT ANY TIME.
 - STAKING IS NOT REQUIRED, BUT IF INSTALLED IT SHALL BE REMOVED NO LATER THAN SIX MONTHS AFTER PLANTING.

TREE PLANTING DETAIL
NOT TO SCALE



- NOTE:**
- SELECT DEADMAN, ANCHORS OR STAKES TO SECURE TREE
 - STAKE TREES ONLY WHEN NECESSARY. STAKES TO BE REMOVED 6 MONTHS AFTER PLANTING.
 - TREES LARGER THAN 2" CALIPER SHOULD BE STAKED BY THREE STRAPS WHEN NECESSARY.
 - DO NOT USE STRAPS TO PULL TREE PLUMB.

TREE STAKING
2" CAL. AND ABOVE
NOT TO SCALE



- STAKE TREES ONLY WHEN NECESSARY. STAKES SHALL BE REMOVED 6 MONTHS AFTER PLANTING.
- OTHER ALTERNATE STAKING METHODS MAY BE USED UPON APPROVAL BY MUNICIPALITY.

ALTERNATIVE TREE STAKING
NOT TO SCALE

PLANTING NOTES

- GENERAL:**
- CONTRACTOR SHALL BE KNOWLEDGEABLE OF ALL OTHER SITE IMPROVEMENTS PRIOR TO STARTING LANDSCAPE WORK AND SHALL PROMPTLY REPORT ANY DISCREPANCIES.
 - CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY EXISTING UTILITIES. IF ANY ARE ENCOUNTERED, CONTRACTOR IS TO PROMPTLY ADVISE THE GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND OWNER.
 - GENERAL SITE CONTRACTOR SHALL PROVIDE SUBGRADE TO WITHIN ±0.2' OF FINISH GRADE.

- PLANT QUALITY:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TREES, SHRUBS, GROUNDCOVER, VINES, AND SOD AS SHOWN ON LANDSCAPE PLAN. ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE ASSOCIATION OF NURSERYMEN, 1250 I STREET, N.W., SUITE 500, WASHINGTON, D.C. 20005, (202) 789-2900. ALL PLANT MATERIAL SHALL HAVE A ONE-YEAR WARRANTY UPON ACCEPTANCE BY THE OWNER.
 - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, AND HAVE A NORMAL WELL-DEVELOPED BRANCHING STRUCTURE AND A VIGOROUS FIBROUS ROOT SYSTEM. PLANTS SHALL BE HEALTHY, VIGOROUS, AND FREE FROM INSECTS AND DISEASE. TREE TRUNKS SHALL BE STRAIGHT AND EXHIBIT GOOD TRUNK TAPER WITH LIMBS NOT LOWER THAN FOUR FEET ABOVE THE GROUND, DEPENDENT ON THE SPECIES. TRUNKS AND STEMS SHALL BE FIRM WITH NO INDICATION OF FUNGAL CANKERS, GALLS, INSECT BORERS, DIE BACK, FROST CRACKS, SUN SCALD, OR OTHER DEFECTS THAT WOULD CAUSE THE TREE TO DECLINE OR BECOME STRUCTURALLY UNSOUND. TREES SHALL BE DENSELY FOLIATED WHEN IN LEAF.
 - ALL PLANTS SHALL BE COMMERCIAL GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF CHATHAM COUNTY (A.H.S. PLANT ZONE 8).
 - ALL PLANTS SHALL EQUAL OR EXCEED THE MINIMUM SIZE AS SHOWN IN THE PLANT LIST, AND ALL METHODS OF PLANT MEASUREMENT SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK". CALIPER OF MULTI-TRUNK TREES SHALL BE DETERMINED BY MEASURING THE LARGEST TRUNK ONLY.

- ROOT SYSTEM:**
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN. NO BARE ROOT TREES SHALL BE ACCEPTABLE.
 - ALL SHRUBS SHALL BE BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN. NO BARE ROOT SHRUBS SHALL BE ACCEPTABLE.
 - THE MINIMUM SIZE OF BALLS, BALL DEPTHS, AND BALL DIAMETER SHALL CONFORM TO BALLING AND BURLAPPING SPECIFICATIONS AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK".
 - ALL BALLED AND BURLAPPED PLANTS SHALL HAVE TWINE, BURLAP AND BASKET WIRE REMOVED FROM THE BALL AFTER THE POSITION OF THE PLANT IS STABILIZED.

CITY OF POOLER LANDSCAPING REQUIREMENTS

Sec. 42-197. - Minimal tree coverage.

(c) Residential tree requirement—A residential lot shall have a minimum of three preferred trees, of which one shall be located in the front of the residence and selected from the large or medium tree species from the preferred species list. All trees preserved on a residential lot must be protected and nurtured until final inspection and approval of improvements by the city building official.

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SCALE: AS NOTED

LANDSCAPE
DETAILS

SHEET:
L3.0



August 20th, 2025

Neil P. McKenzie, P.E.
Coleman Company
1480 Chatham Pkwy.
Savannah, GA 31405

Dear Mr. McKenzie,

I am pleased to provide you with a recommendation for Approval of the site development plans submitted under the cover of Forest Lakes Secondary Access Road (Application No. A24-0088), which is provided below.

| | | |
|-----------------------------|-----------------------------------|------------------|
| <u>Submittal Documents:</u> | Site Development Plans..... | <i>Aug. 2025</i> |
| | Wetland Impact Permit..... | <i>Aug. 2025</i> |
| | GDOT Approval..... | <i>Apr. 2025</i> |
| | Stormwater Management Report..... | <i>Apr. 2025</i> |
| | No-Rise Certification Letter..... | <i>Apr. 2025</i> |
| | Floodplain Mitigation Calcs..... | <i>Apr. 2025</i> |
| | Traffic Assessment..... | <i>Nov. 2024</i> |
| | GSWCC Approval Letter..... | <i>Aug. 2024</i> |

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for ensuring that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler’s applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.



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OPERATIONS

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Nicole Johnson; Director of Planning & Development – City of Pooler
Marcella Benson; City Planner- City of Pooler
Ryan Jarles; City Planner – City of Pooler
Rachael Brown; Zoning Administrator – City of Pooler
Liberto Chacon, PE; Sr. Vice President of Engineering – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Development Plan Approval for Live Oak Veterinary Neurology at 102 San Drive

| | |
|---------------------------------|--|
| Project: | #A24-0098 |
| P&Z Meeting Date: | August 25, 2025 |
| City Council Meeting Date: | September 15, 2025 |
| Applicant and Authorized Agent: | Sam Gaillard – Kimley Horn |
| Location (Address): | 102 San Drive |
| Parcel (PIN): | 50021 01005 |
| Acreage: | Approximately 1.94 acres |
| Zoning: | C-2 (Heavy Commercial) |
| Proposed Use: | Veterinary Neurology |
| Staff Recommendation: | Approval with the following conditions: <ol style="list-style-type: none">1. The City of Pooler shall be in receipt of the GSWCC’s Approval of the Erosion, Sedimentation, & Pollution Control Plans prior to scheduling the preconstruction meeting and prior to any land disturbance.2. The Stormwater Maintenance Agreement shall be signed and recorded prior to scheduling the preconstruction meeting. |
| Planning & Zoning Commission: | TBD |
| Recommended Motion: | <i>"After review of the criteria, move for approval of the request with the condition as outlined in Staff’s recommendation."</i> |
| Zoning Action Standards: | <ol style="list-style-type: none">1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans. |

- *The site is located within an area that is shown on the Future Land Use Map as being residential and is shown in the Comprehensive Plan as being within the Commercial Character Area. The parcels along San Drive have historically been utilized for commercial purposes. Currently the area includes three hotels and a restaurant: Magnolia Inn & Suites, Sleep Inn & Suites, Best Western, and Burger King.*
2. Whether the site plan provides for adequate pedestrian and traffic access.
 - *The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.*
 3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - *The site is a large 1.94 acre parcel which will adequately accommodate the proposed vet clinic and associated required parking.*
 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - *Yes, the site plan provides the appropriate location, arrangement, size, and design when considering the surrounding C-2 zoning district, which includes three hotels and a restaurant: Magnolia Inn & Suites, Sleep Inn & Suites, Best Western, and a Burger King.*
 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - *Yes, the proposed site plan is appropriate in scale for the 1.94-acre site and the adjacent properties, including the Magnolia Inn & Suites, Sleep Inn & Suites, Best Western, and Burger King.*
 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - *The proposed site development is to be adequately served by existing services.*
 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.

- *The site is adequately served by public services and for current or projected needs.*
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
- *The site plan complies with the provisions related to buffer and screening standards.*
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-detering buffer between adjacent properties.
- *The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.*
10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
- *The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws. The City of Pooler shall be in receipt of the GSWCC's Approval of the Erosion, Sedimentation, & Pollution Control Plans prior to scheduling the preconstruction meeting.*

Conclusion:

The site plan addresses the site plan approval criteria, as such, staff recommends **Approval** of the request with the following conditions:

1. The City of Pooler shall be in receipt of the GSWCC's Approval of the Erosion, Sedimentation, & Pollution Control Plans prior to scheduling the preconstruction meeting and prior to any land disturbance.
2. The Stormwater Maintenance Agreement shall be signed and recorded prior to scheduling the preconstruction meeting.

Attachments:

- A. Vicinity Map
- B. Submittal Documentation
- C. Approval Letter



CITY OF POOLER
 GEORGIA
A great place to Live, Work and Play

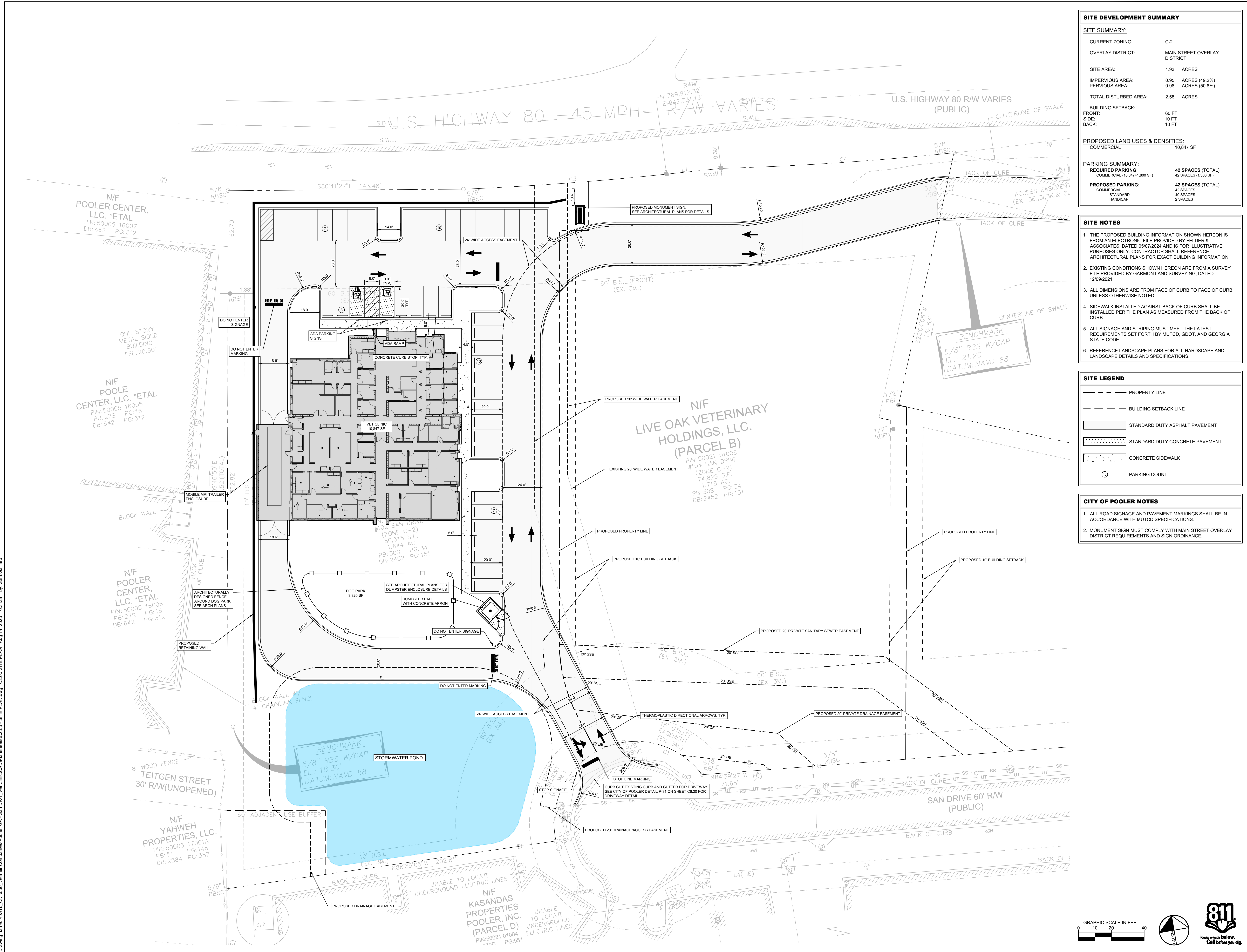
Vicinity Map - 102 San Drive - Site Plan

08/19/2025

Parcels



Drawing name: K:\ATL_Civil\03_Vet\vet\Compas\Pooler\GA_San_DRI_Vet_Clinic\CAD\Plan\Sheet\C2.00_SITE_PLAN.dwg C2.00 SITE PLAN Aug 14, 2025 10:24am by Sam Galliard



SITE DEVELOPMENT SUMMARY

SITE SUMMARY:

| | |
|--|------------------------------|
| CURRENT ZONING: | C-2 |
| OVERLAY DISTRICT: | MAIN STREET OVERLAY DISTRICT |
| SITE AREA: | 1.93 ACRES |
| IMPERVIOUS AREA: | 0.95 ACRES (49.2%) |
| PERVIOUS AREA: | 0.98 ACRES (50.8%) |
| TOTAL DISTURBED AREA: | 2.58 ACRES |
| BUILDING SETBACK: | 60 FT |
| FRONT: | 60 FT |
| SIDE: | 10 FT |
| BACK: | 10 FT |
| PROPOSED LAND USES & DENSITIES: | |
| COMMERCIAL | 10,847 SF |
| PARKING SUMMARY: | |
| REQUIRED PARKING: | 42 SPACES (TOTAL) |
| COMMERCIAL (10,847+1,800 SF) | 42 SPACES (1/300 SF) |
| PROPOSED PARKING: | 42 SPACES (TOTAL) |
| COMMERCIAL | 40 SPACES |
| STANDARD HANDICAP | 2 SPACES |

- SITE NOTES**
1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY FELDER & ASSOCIATES, DATED 05/07/2024 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
 2. EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY GARMON LAND SURVEYING, DATED 12/09/2021.
 3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
 5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
 6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

SITE LEGEND

| | |
|-----|---------------------------------|
| --- | PROPERTY LINE |
| --- | BUILDING SETBACK LINE |
| --- | STANDARD DUTY ASPHALT PAVEMENT |
| --- | STANDARD DUTY CONCRETE PAVEMENT |
| --- | CONCRETE SIDEWALK |
| ⊙ | PARKING COUNT |

- CITY OF POOLER NOTES**
1. ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS.
 2. MONUMENT SIGN MUST COMPLY WITH MAIN STREET OVERLAY DISTRICT REQUIREMENTS AND SIGN ORDINANCE.

GRAPHIC SCALE IN FEET
0 10 20 40

811
Know what's below.
Call before you dig.

Kimley Horn
3930 EAST JONES BRIDGE ROAD
THE FORUM, SUITE 350
NORCROSS, GEORGIA 30092
PHONE 770.825.0744
WWW.KIMLEY-HORN.COM
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LIVE OAK VETERINARY HOLDINGS, LLC
516 STEPHENSON AVE
SAVANNAH, GA 31405
PHONE 912.689.7544
LIVEOAKVETSPECIALISTS@GMAIL.COM

POOLER VET CLINIC
103 SAN DRIVE
POOLER, GA 31322
PIN: 50051 01005
7711 DISTRICT

POOLER VET CLINIC
PROJECT

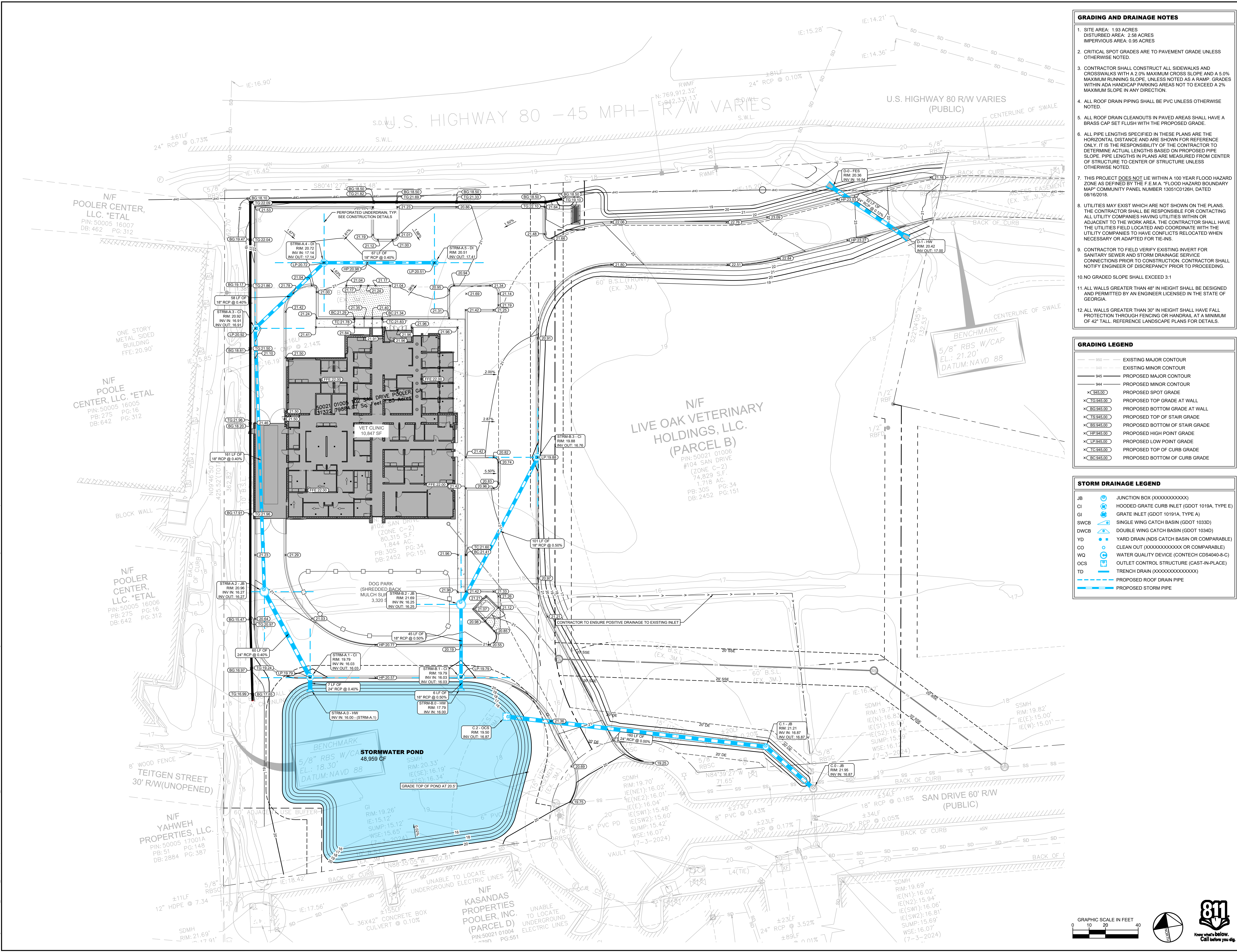
GEORGIA REGISTERED PROFESSIONAL ENGINEER
L. HORN

GSWCC CERT. (LEVEL II) 0000022363
DRAWN BY LCW
DESIGNED BY SPG
REVIEWED BY BLH
DATE 12.11.2024
PROJECT NO. 017684000
TITLE

SITE PLAN
SHEET NUMBER
C2.00

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Drawing name: K:\ATL_Civil\003_Vehmet\Compas\Pooler\GA_San_DRI_Vet_Clinic\CADD\Plan\Sheet\03_Grading & Drainage Plan.dwg C:\03_Grading & Drainage Plan.dwg Aug 14, 2025 10:28am by Sam Galliard



- ### GRADING AND DRAINAGE NOTES
1. SITE AREA: 1.93 ACRES
DISTURBED AREA: 2.58 ACRES
IMPERVIOUS AREA: 0.95 ACRES
 2. CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
 3. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
 4. ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
 5. ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
 6. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 7. THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13051C0128H, DATED 08/16/2018.
 8. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
 9. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
 10. NO GRADED SLOPE SHALL EXCEED 3:1
 11. ALL WALLS GREATER THAN 48" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
 12. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.

GRADING LEGEND

| | |
|-----|--------------------------------|
| --- | EXISTING MAJOR CONTOUR |
| --- | EXISTING MINOR CONTOUR |
| --- | PROPOSED MAJOR CONTOUR |
| --- | PROPOSED MINOR CONTOUR |
| x | PROPOSED SPOT GRADE |
| x | PROPOSED TOP GRADE AT WALL |
| x | PROPOSED BOTTOM GRADE AT WALL |
| x | PROPOSED TOP OF STAIR GRADE |
| x | PROPOSED BOTTOM OF STAIR GRADE |
| x | PROPOSED HIGH POINT GRADE |
| x | PROPOSED LOW POINT GRADE |
| x | PROPOSED TOP OF CURB GRADE |
| x | PROPOSED BOTTOM OF CURB GRADE |

STORM DRAINAGE LEGEND

| | |
|------|--|
| JB | JUNCTION BOX (XXXXXXXXXXXX) |
| CI | HOODED GRATE CURB INLET (GDOT 1019A, TYPE E) |
| GI | GRATE INLET (GDOT 10191A, TYPE A) |
| SWCB | SINGLE WING CATCH BASIN (GDOT 1033D) |
| DWCB | DOUBLE WING CATCH BASIN (GDOT 1034D) |
| YD | YARD DRAIN (NDS CATCH BASIN OR COMPARABLE) |
| CO | CLEAN OUT (XXXXXXXXXXXX OR COMPARABLE) |
| WQ | WATER QUALITY DEVICE (CONTECH CDS4040-8-C) |
| OCS | OUTLET CONTROL STRUCTURE (CAST-IN-PLACE) |
| TD | TRENCH DRAIN (XXXXXXXXXXXX) |
| --- | PROPOSED ROOF DRAIN PIPE |
| --- | PROPOSED STORM PIPE |

Kimley Horn

3930 EAST JONES BRIDGE ROAD
THE FORUM, SUITE 350
NORCROSS, GEORGIA 30092

PHONE 770.825.0744
WWW.KIMLEY-HORN.COM
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LIVE OAK VETERINARY HOLDINGS, LLC

316 STEPHENSON AVE
SAVANNAH, GA 31405

| NO. | REVISION DESCRIPTIONS | DATE |
|-----|-----------------------|------|
| | | |
| | | |
| | | |

POOLER VET CLINIC

103 SAN DRIVE
POOLER, GA 31322

PROJECT: POOLER VET CLINIC

INDUSTRY: VET

GSWCC CERT. LEVEL (H) 0000022363

DRAWN BY LCW

DESIGNED BY SPG

REVIEWED BY BLH

DATE 12.11.2024

PROJECT NO. 017684000

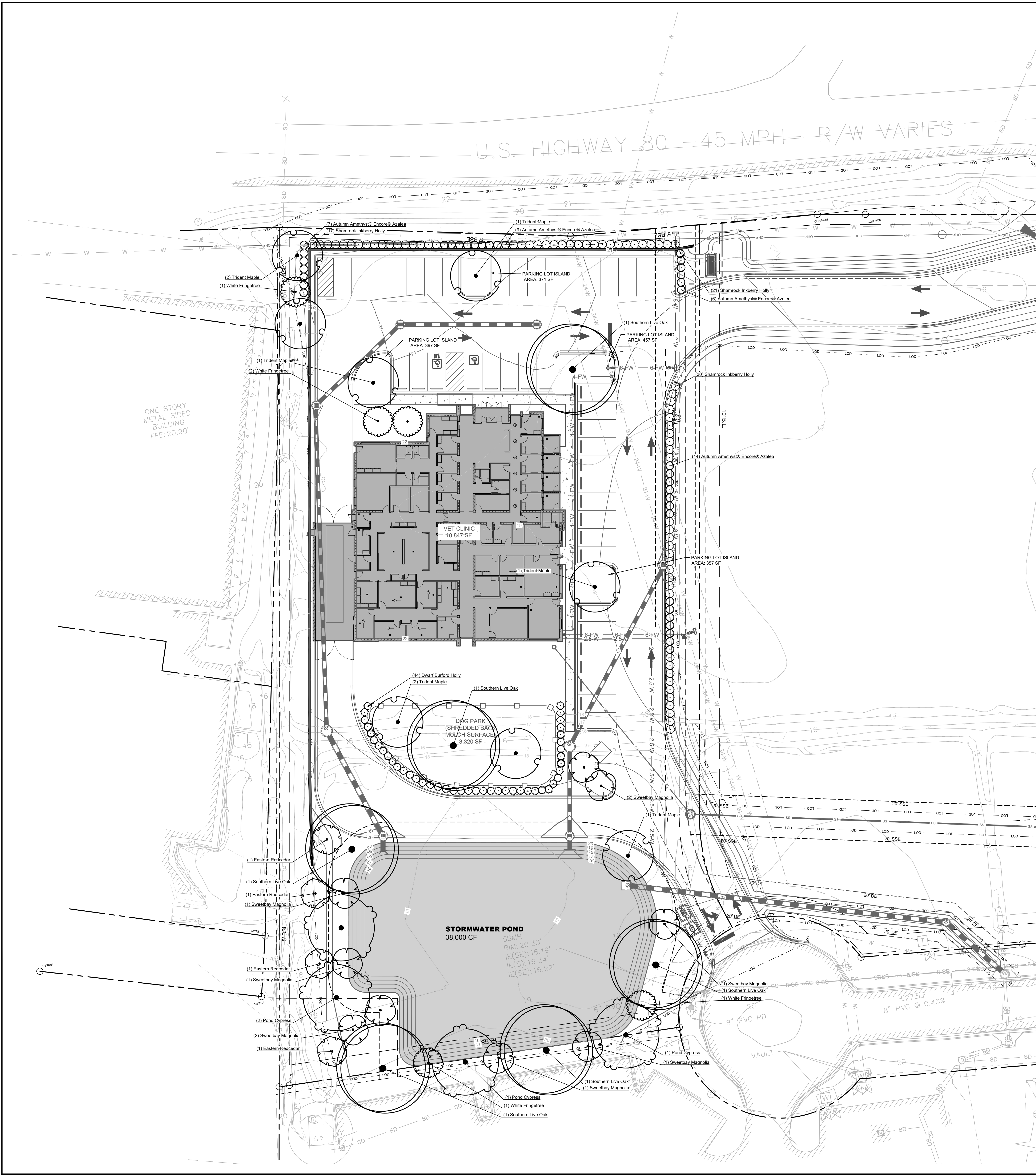
TITLE **GRADING & DRAINAGE PLAN**

SHEET NUMBER **C3.00**

W. L. HORN
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
STATE OF GEORGIA

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Drawing name: K:\ATL_Civil\03_Vet\Pooler_Vet_Clinic\CAD\Plant\sheet\1_00 - TREE PROTECTION & REPLACEMENT PLAN.dwg L2-00 TREE REPLACEMENT PLAN Aug 13 2025 5:49pm by: Alex Gallegos



LANDSCAPE REQUIREMENTS & CALCULATIONS

| AREA | CODE REQUIREMENT | MEASUREMENT | TOTAL QUANTITY REQUIRED | TOTAL QUANTITY PROVIDED | NOTES | SECTION |
|---------------------------------|---|---|---|---|---|---------------------------------|
| TREE REPLACEMENT | (18) PREFERRED SPECIES TREES PLANTED PER 1 ACRE OF DISTURBED LAND IF EXISTING TREE REQUIREMENT CANNOT BE MET | 2.44 ACRES | 2.44 ACRES X 15 = 37 TREES | 37 TREES OF PREFERRED SPECIES PROVIDED | MEETS REQUIREMENTS | SECTION 42-199 |
| TREE MITIGATION | WHEN A SIGNIFICANT TREE IS REMOVED, PLANTING OF SAME SPECIES, OR PREFERRED SPECIES TOTALING THE SAME NUMBER OF INCHES REMOVED IS REQUIRED WITH REPLACEMENT TREES HAVING A MINIMUM OF 4" CALIPER | 39" TO BE REPLACES | 39/7" = 7 TREES AT 6" CALIPER TO BE PLANTED | 7 6" CALIPER TREES OF SAME SPECIES PROVIDED | MEETS REQUIREMENTS | SECTION 42-198 |
| TREE SPECIES DIVERSITY | FOR ALL SITES, NO MORE THAN 30% OF TREES PLANTED SHALL BE THE SAME SPECIES IN ORDER TO INCREASE SPECIES DIVERSITY | 38 TREES PROPOSED | 38 X 3 = 11 TREES PER SPECIES MAXIMUM (4 SPECIES MINIMUM) | 7 SPECIES PROVIDED | MEETS REQUIREMENT | SECTION 42-199 |
| PARKING LOT REQUIREMENTS | 1 TREE FOR EVERY 12 PARKING SPACES. 500 SF MIN. AREA FOR LARGE CANOPY TREE OR 300 SF MIN. AREA FOR MEDIUM CANOPY TREE (PER 6-20-23 MEETING WITH CITY OF POOLER) | 43 SPACES ON SITE. | 43 SPACES / 12 TREES = 4 TREES REQUIRED | 4 TREES PROVIDED | MEETS REQUIREMENT | SECTION 42-200 AND BY AGREEMENT |
| MAIN STREET OVERLAY REQUIREMENT | WHERE PARKING IS VISIBLE FROM RIGHT-OF-WAY OR ADJACENT PROPERTIES, A SOLID HEDGE OF EVERGREEN PLANT MATERIAL, PLANTED AT 24-INCHES, MAINTAINED AT 36-INCHES WITHIN 2 YEARS, IS REQUIRED | HEDGE REQUIRED ALONG NORTHERN AND EASTERN PARKING LOT EDGES | 370-LINEAR FEET OF HEDGE REQUIRED | 297-LINEAR FEET OF HEDGE PROVIDED | 73-LINEAR FEET OF HEDGE ALONG NORTHERN EDGE OF PARKING UNABLE TO BE PROVIDED DUE TO PROPOSED RETAINING WALL | SECTION 27 |

PLANT SCHEDULE

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | CAL. | HT. | CONT. | REMARKS | SPECIES |
|---------------|-----|-------------------------------|---|---------|---------------|-------|---------------|---------|
| TREES | | | | | | | | |
| | 8 | ACER BUERGERIANUM | TRIDENT MAPLE | 2" CAL. | 12' - 14' HT. | B&B | FULL; MATCHED | 21.6% |
| | 5 | CHIONANTHUS VIRGINICUS | WHITE FRINGETREE (SINGLE TRUNK; STANDARD TREE FORM) | 2" CAL. | 8' - 10' HT. | B&B | FULL; MATCHED | 13.5% |
| | 4 | JUNIPERUS VIRGINIANA | EASTERN REDCEDAR | 2" CAL. | 8' HT. MIN. | B&B | FULL; MATCHED | 10.8% |
| | 9 | MAGNOLIA VIRGINIANA | SWEETBAY MAGNOLIA | 2" CAL. | 8' - 10' HT. | B&B | FULL; MATCHED | 27% |
| | 6 | QUERCUS VIRGINIANA | SOUTHERN LIVE OAK | 6" CAL. | 20' - 22' HT. | B&B | FULL; MATCHED | 16.3% |
| | 4 | TAXODIUM ASCENDENS | POND CYPRESS | 2" CAL. | 10' - 12' HT. | B&B | FULL; MATCHED | 10.8% |
| SHRUBS | | | | | | | | |
| | 36 | AZALEA X 'CONLEE' | AUTUMN AMETHYST® ENCORE® AZALEA | 7 GAL. | 24" MIN. | | FULL; MATCHED | |
| | 44 | ILEX CORNUTA 'BURFORDII NANA' | DWARF BURFORD HOLLY | 7 GAL. | 24" MIN. | | FULL; MATCHED | |
| | 68 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY HOLLY | 7 GAL. | 24" MIN. | | FULL; MATCHED | |

3930 EAST JONES BRIDGE ROAD
THE FORUM, SUITE 350
NORCROSS, GEORGIA 30092
PHONE 770.825.0744
WWW.KIMLEY-HORN.COM
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LIVE OAK VETERINARY HOLDINGS, LLC

305 STEPHENSON AVE
SAVANNAH, GA 31405

PROJECT: POOLER VET CLINIC
PIN: 5871 0185
7711 DISTRICT

DATE: 12.11.2024

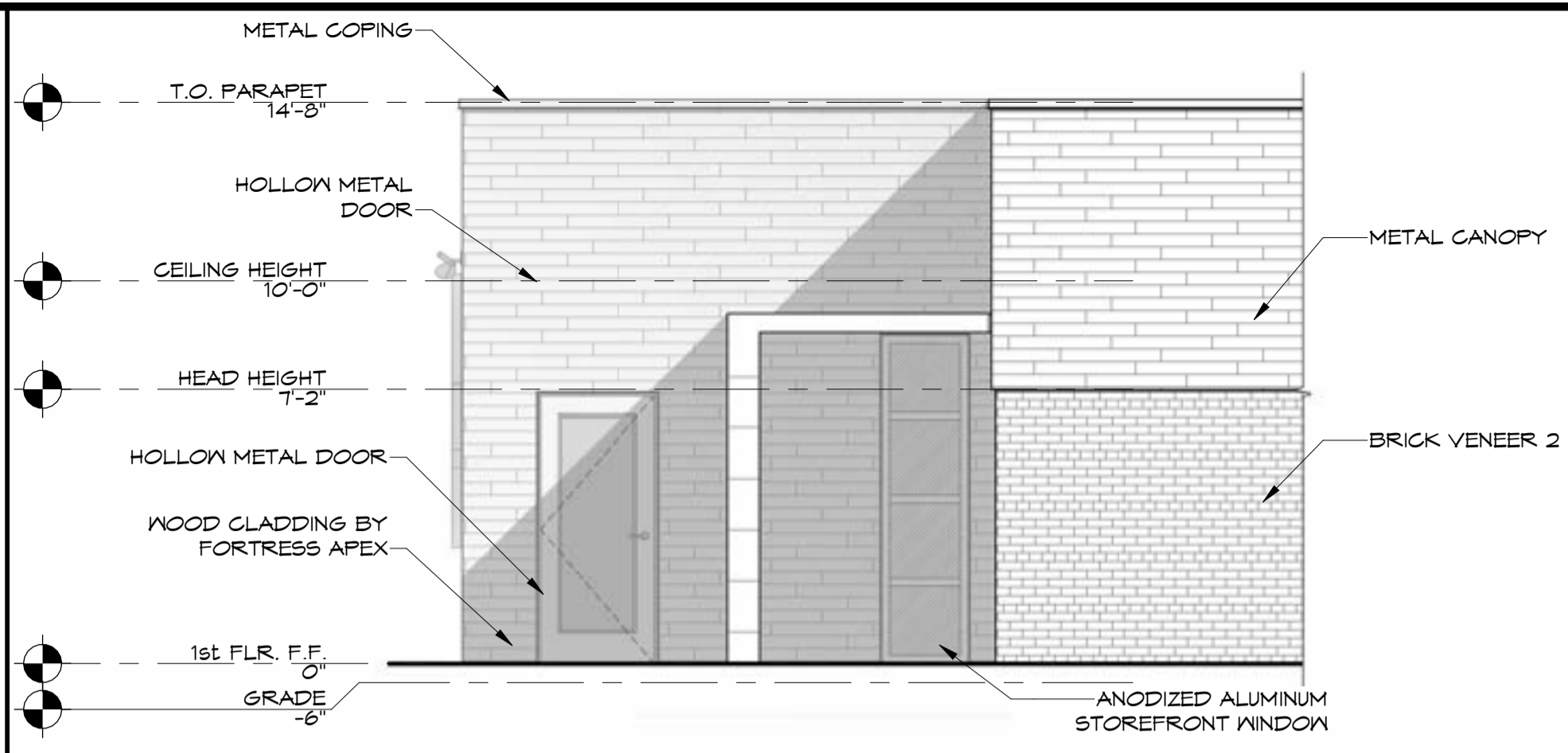
PROJECT NO.: 017684000

TITLE: TREE REPLACEMENT PLAN

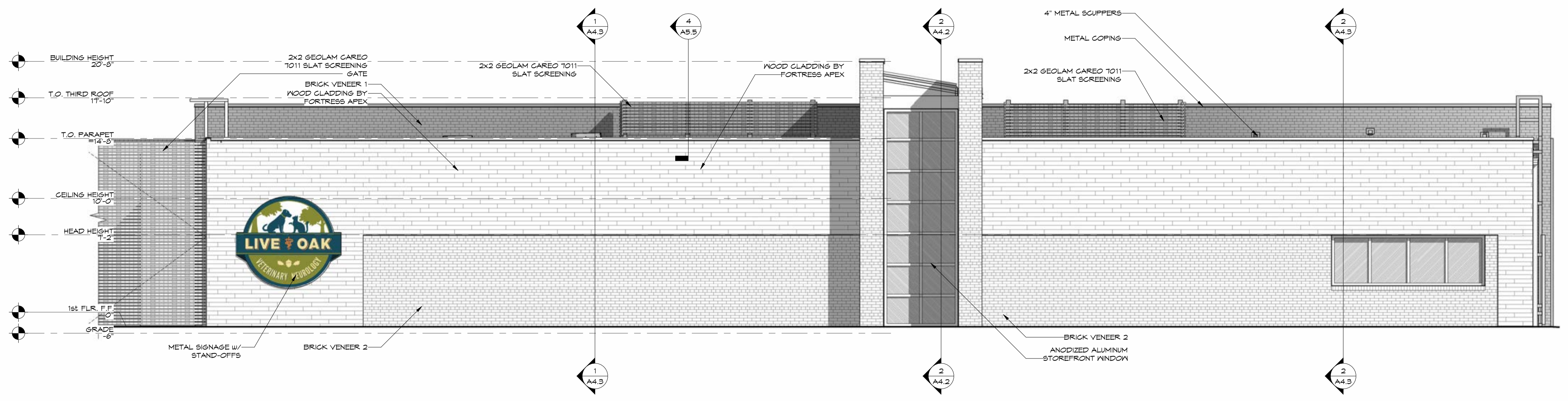
SHEET NUMBER: L2-00

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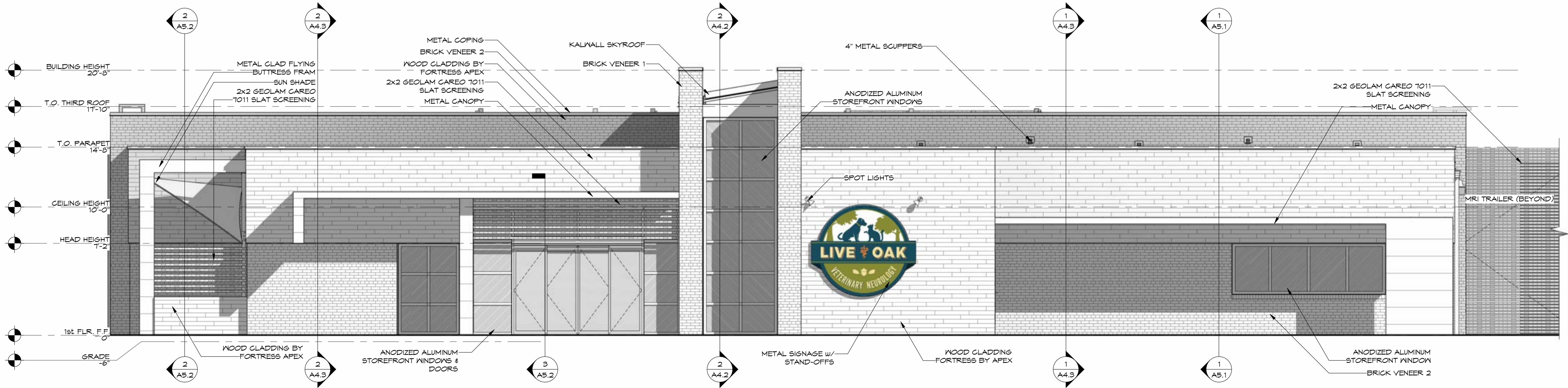
| VENEER LEGEND | |
|--------------------------------|--|
| BASIS OF DESIGN: VENEER 1 = | TAYLOR CLAY PRODUCTS: PEARL GRAY MODULAR WIRECUT |
| BASIS OF DESIGN: VENEER 2 = | TAYLOR CLAY PRODUCTS: PEBBLE GRAY MODULAR WIRECUT |



3 ELEVATION @ OUTDOOR SEATING
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2514 ABERCORN STREET
SUITE 120
SAVANNAH, GA 31401
912.777.3979

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3. Do not scale dimensions from prints. Plans and details are not always drawn to scale. Use dimensions given or consult the Architect for further clarification.

A NEW OFFICE BUILDING FOR
**LIVE OAK VETERINARY
NEUROLOGY**
106 SAN DRIVE
POOLER, GA

| REVISIONS | DESCRIPTION |
|-----------|-------------|
| ADD | DATE |

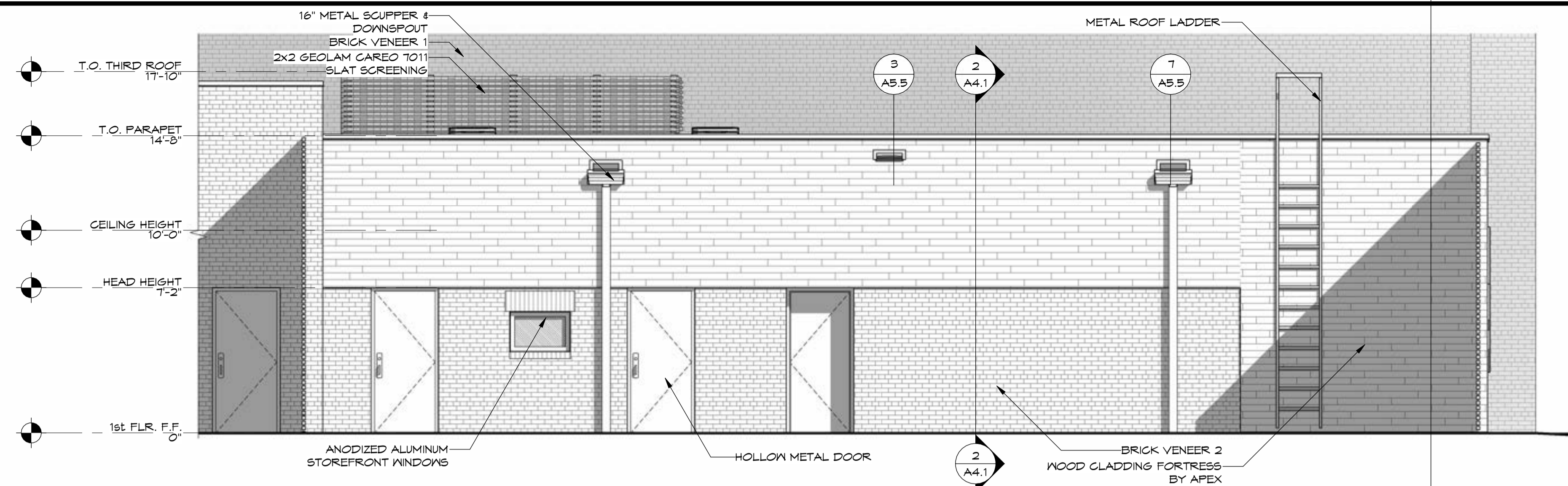
EXTERIOR ELEVATIONS



ISSUED FOR CONSTRUCTION
06.23.2025

JOB NO: 22.002
ISSUE DATE: 06.23.2025
DRAWN: AGG

A3.2

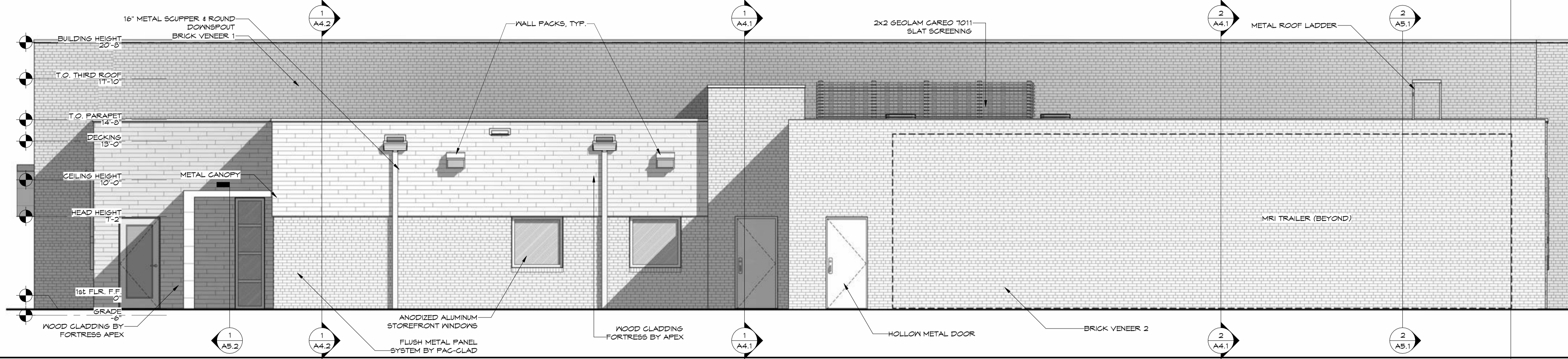


VENEER LEGEND

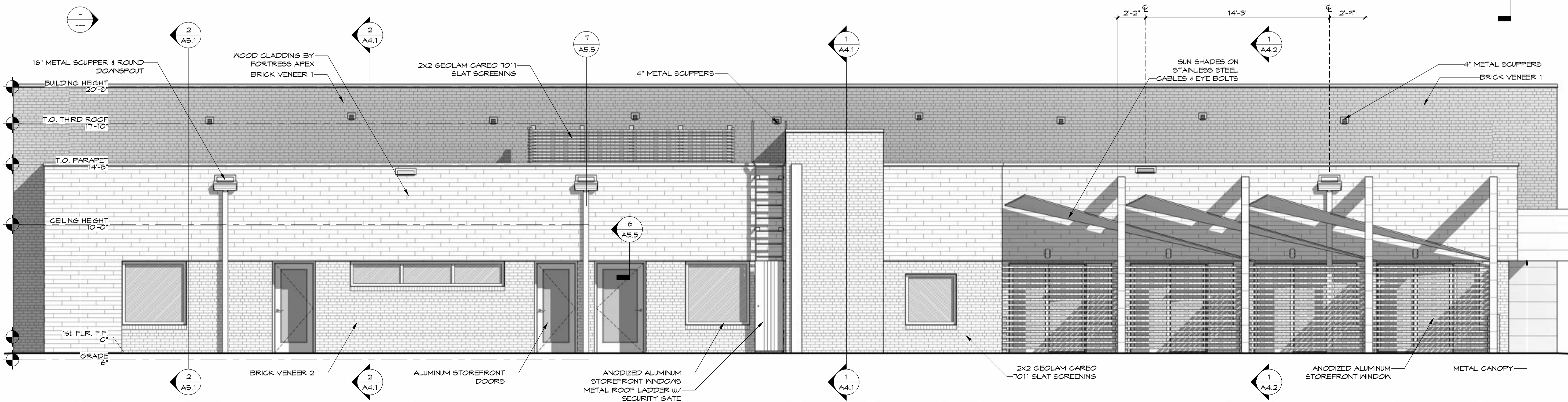
BASIS OF DESIGN:
 VENEER 1 = TAYLOR CLAY PRODUCTS:
 PEARL GRAY
 MODULAR
 WIRECUT

BASIS OF DESIGN:
 VENEER 2 = TAYLOR CLAY PRODUCTS:
 PEBBLE GRAY
 MODULAR
 WIRECUT

3 WEST ELEVATION @ MRI TRAILER
 A3.3 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 A3.3 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
 A3.3 SCALE: 1/4" = 1'-0"



2514 ABERCORN STREET
 SUITE 120
 SAVANNAH, GA 31401
 912.777.3979

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A NEW OFFICE BUILDING FOR
LIVE OAK VETERINARY
NEUROLOGY
 106 SAN DRIVE
 POOLER, GA

| REVISIONS | DESCRIPTION |
|-----------|-------------|
| ADD | DATE |

EXTERIOR ELEVATIONS



ISSUED FOR CONSTRUCTION
 06.23.2025

JOB NO: 22.002
 ISSUE DATE: 06.23.2025
 DRAWN: AGG

A3.3



CITY of POOLER
— GEORGIA —

**STORMWATER FACILITY/INFRASTRUCTURE
MAINTENANCE AGREEMENT**

THIS STORMWATER FACILITY/INFRASTRUCTURE MAINTENANCE AGREEMENT (the "Agreement"), is made and entered into this 07 day of July, 2025, by and between Jason King hereinafter "Landowner," and the City of Pooler, Georgia, hereinafter "City" and Project Name Pooler Vet Clinic.

WITNESSETH:

WHEREAS, the Landowner is the owner of certain real property described as Chatham County Parcel Identification Number(s) 50021 01005 and 50021 01006 as evidenced by recorded instrument in the real estate records of Chatham County, Georgia, in Book 30S Page 34, hereinafter "Property"; and

WHEREAS, the Landowner is proceeding to build on and develop the property; and

WHEREAS, the applicable development plan for the Property, which is expressly incorporated herein and made a part hereof, as approved or to be approved by the City, provides for detention of stormwater within the confines of the Property; and

WHEREAS, the City and the Landowner, its successors and assigns, including any homeowners association, agree the health, safety, and welfare of the residents of the city of Pooler, Georgia, require on-site stormwater management facilities/infrastructure be constructed and adequately maintained on the Property; and

WHEREAS, the City requires on-site stormwater maintenance facilities/infrastructure, as included in any applicable development plan for the Property, be constructed and adequately maintained by the Landowner, its successors and assigns, including any homeowners association.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

- 1) The on-site stormwater maintenance facilities/infrastructure shall be constructed by the Landowner, its successors and assigns, in accordance with the plans and specifications in any applicable development plan approved by the City. No changes to the approved stormwater maintenance facilities/infrastructure are permitted without express prior approval by the City.
- 2) The Landowner, its successors and assigns, including any homeowners association, shall at all times adequately maintain the stormwater maintenance facilities/infrastructure. Such maintenance obligation shall include the obligation to properly maintain all pipes, channels or other conveyances built to convey stormwater to and from the facilities/infrastructure, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water. Adequate maintenance is herein defined as keeping the stormwater facilities/infrastructure in good working condition, as acceptable to the City, to ensure performance in accordance with their design functions.
- 3) The Landowner, its successors and assigns, including any homeowners association, shall inspect the stormwater maintenance facilities/infrastructure at least annually. The purpose of the inspection is to assure safe and proper functioning of the stormwater maintenance facilities/infrastructure. The Landowner's annual inspection shall cover all aspects of the stormwater maintenance facilities/infrastructure including without limitation berms, inlet and outlet structure(s), vegetation, infiltration media, pond area(s), access road(s), etc. Any deficiency(ies) shall be noted in the Landowner's annual inspection report, which shall be provided to the City with reasonable promptness upon completion.
- 4) The Landowner, its successors and assigns, including any homeowners association, hereby grants to the City, its authorized agents and employees, a nonexclusive perpetual easement of ingress and egress over, across, under, and through the Property for inspection of the stormwater maintenance facilities/infrastructure. The City may enter upon the Property to inspect the stormwater maintenance facilities/infrastructure for any reason including without limitation to follow up on any reported deficiencies or in response to complaints concerning the Property. If the City identifies any deficiency(ies) through its inspection, the Landowner, its successors and assigns, including any homeowners association, shall be notified of the same.
- 5) In the event the Landowner, its successors and assigns, including any homeowners association, fails to maintain the stormwater maintenance facilities/infrastructure in good working condition as acceptable to the City, the City may enter upon the Property and take whatever steps necessary to correct deficiencies identified in the inspection report and to charge the costs of such repairs to the Landowner, its successors and assigns, including any homeowners association. This provision shall not be construed to allow the City to erect any structure of permanent nature on the

land of the Landowner, its successors and assigns, including any homeowners association. It is expressly understood and agreed the City is under no obligation to routinely maintain or repair the stormwater maintenance facilities/infrastructure on the Property, and in no event shall this Agreement be deemed to impose any such obligation on the City.

- 6) The Landowner, its successors and assigns, including any homeowners association, shall perform all necessary work to keep the stormwater maintenance facilities/infrastructure in good working order. In the event a maintenance schedule for the stormwater maintenance facilities/infrastructure is outlined in any applicable development plan for the Property, such schedule shall be followed.
- 7) In the event the City pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner, its successors and assigns, including any homeowners association, shall reimburse the City, upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder.
- 8) This Agreement imposes no liability of any kind whatsoever on the City, and the Landowner, its successors and assigns, including any homeowners association, agrees to hold the City harmless from any liability in the event the stormwater maintenance facilities/infrastructure fail to operate properly.
- 9) This agreement shall be recorded among the deed records of Chatham County, Georgia, and shall constitute a covenant running with the land and shall be binding on the Landowner, its successors and assigns, including any homeowners association.
- 10) This Agreement in no way supersedes or alters any applicable federal, state, or local law including without limitation the Code of Ordinances for the City of Pooler, Georgia. In the event this Agreement conflicts with any applicable federal, state, or local law, this Agreement shall be subordinate to any such applicable law(s).
- 11) The Landowner and City hereby agree and expressly consent the provisions herein represent the entire agreement between them. Any other documents and or negotiations are hereby expressly superseded by execution of this agreement unless expressly incorporated herein or attached as an Exhibit.
- 12) This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of the counterparts together shall constitute one and the same instrument. Signatures via facsimile or scanned PDF signatures shall be deemed original signatures.

13) Should any provision of this Agreement be deemed unenforceable for any reason, the Landowner and City expressly agree such unenforceability shall not affect the remaining provisions of this Agreement. Any conflict arising under a provision deemed unenforceable shall be interpreted and applied according to the laws of the State of Georgia. The remaining unaffected provisions shall be controlled by the express wording therein.

[SPACE INTENTIONALLY LEFT BLANK]

[LANDOWNER AND CITY SIGNATURE PAGES FOLLOW]

IN WITNESS HEREOF, the Landowner has hereunto set their hand and seals as of the day written.

Sworn to and subscribed before me this

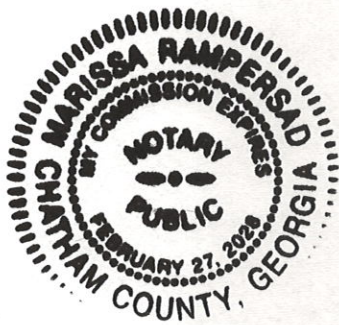
7 day of July, 2025

Marissa Rampersad
Notary Public Print

Marissa Rampersad
Notary Public Signature

Feb. 27, 2028
Notary Public Commission Expiration

Seal:



Landowner

J. RAY KING
Landowner Print

J. Ray King
Landowner Signature

Witness Print

Terri L. Moore
Witness Signature

IN WITNESS HEREOF, the City of Pooler, Georgia has hereunto set their hand and seals as of the day written.

Sworn to and subscribed before me this

_____ day of _____, 20_____

Notary Public Print

Notary Public Signature

Notary Public Commission Expiration

Seal:

City of Pooler, Georgia

Mayor Print

Mayor Signature

City Clerk Print

City Clerk Signature

Seal:



August 15th, 2025

Bradley L. Horbal, P.E.
Kimley Horn
25 Bull Street, Suite 400
Savannah, GA 31401

Dear Mr. Horbal,

I am pleased to provide you with a recommendation for Approval of the site development plans submitted under the cover of Pooler Vet Clinic, which is provided below.

| | | |
|-----------------------------|---------------------------------------|------------------|
| <u>Submittal Documents:</u> | Site Development Plans..... | <i>Aug. 2025</i> |
| | Recombination Plat..... | <i>Aug. 2025</i> |
| | Hydrology Report..... | <i>Jul. 2025</i> |
| | Traffic Memo..... | <i>Jul. 2025</i> |
| | Architectural Plans..... | <i>Jul. 2025</i> |
| | Hold Harmless Agreement..... | <i>Jul. 2025</i> |
| | Hydrant Test..... | <i>Jul. 2025</i> |
| | Stormwater Maintenance Agreement..... | <i>Jul. 2025</i> |
| | Lighting Plan..... | <i>Jul. 2025</i> |
| | Retaining Wall Design Drawings..... | <i>Jul. 2025</i> |
| | MEP Drawings..... | <i>Jul. 2025</i> |

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for ensuring that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.





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Based on our thorough review, it is our professional opinion that the submitted plans are in substantial conformance with the City of Pooler's applicable design standards, codes, and ordinances. Accordingly, we respectfully recommend Site Plan Approval, subject to the following contingency:

- The City of Pooler shall be in receipt of the GSWCC's Approval of the Erosion, Sedimentation, & Pollution Control Plans prior to scheduling the preconstruction meeting with City Staff.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Nicole Johnson; Director of Planning & Development – City of Pooler
Marcella Benson; City Planner- City of Pooler
Ryan Jarles; City Planner – City of Pooler
Rachael Brown; Zoning Administrator – City of Pooler
Liberto Chacon, PE; Sr. Vice President of Operations – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882