



CITY of POOLER
— GEORGIA —

PLANNING & ZONING COMMISSION MEETING - AGENDA

October 14, 2025, at 3:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. APPROVAL OF MINUTES
- IV. NEW BUSINESS
 - A. Site Development Plan Approval for revisions to a previously approved multi-tenant commercial building in the Godley Station PUD at 780 Pooler Parkway. (Application # A25-0041)
 - B. Site Development Plan Approval for a multi-tenant commercial building within the Southern Portion of Godley Station PUD at 129 Pipemakers Circle. (Application # A25-0049)
 - C. Text Amendment to the Pooler Code of Ordinances Chapter 26 and Appendix A to provide revisions related to the short-term rental requirements and to comply with the State code changes.
 - D. Text Amendment to the Pooler Code of Ordinances Chapter 62 and Appendix A to amend the Planning and Zoning Commission meeting schedule and site plan approval process.
- V. ADJOURNMENT

City of Pooler
Planning & Zoning Minutes
September 22, 2025

CALL TO ORDER:

Chair Johnson called the meeting to order at 3:00 p.m.
Chair Johnson led the Pledge of Allegiance.

Attendee Name	Title	Status
Nicole Johnson	Chair	Present
Shirlinia Daniel	Commissioner	Present
Brad Rife	Commissioner	Present
Jeremy Kelly	Alternate	Present
Scott Cribbs	Commissioner	Present
Mark Williams	Commissioner	Present
Ashley Brown	Commissioner	Present
Pete Chaison	Commissioner	Absent
Marcy Benson	City Planner	Present
Ryan Jarles	City Planner	Absent
Rachael Brown	Zoning Administrator/Secretary	Present

APPROVAL OF MINUTES

The minutes of August 25, 2025, Planning and Zoning Commission were reviewed and accepted.

Result: *Approved*

1-Motion: Commissioner Rife

2-Second: Commissioner Kelly

Motion passed without opposition

NEW BUSINESS:

- A. Variance Request from App. A, Art. III, Sec. 6 – Schedule of Development Regulations to allow for a 6.5-foot reduction in the required 20-foot side yard setback in order to construct a personal storage facility at 220 Dublin Rd. (Application # A25-0128)

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for a variance from App. A, Art. III, Sec. 6 – *Schedule of Development Regulations* to allow for a 6.5-foot reduction in the required 20-foot side yard setback in order to construct a personal storage building at 220 Dublin Rd. Staff recommended denial of the application based on it not meeting the criteria. Jay Maupin was present to answer questions.

Result: After review of the criteria, a motion was made to recommend denial of the request.

1-Motion: Commissioner Brown

2-Second: Commissioner Rife

Motion Passed without opposition

- B. Zoning Map Amendment to modify the 100-foot buffer zoning condition, removing a 440 linear foot portion of required buffer, to allow for construction of a building material supply company with a retail storefront component at 1400 Jimmy Deloach Parkway. (Application # A25-0157)

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. Request to modify the 100-foot buffer zoning condition, removing a 440 linear foot portion of required buffer, to allow for construction of a building material supply company with a retail storefront component at 1400 Jimmy Deloach Parkway. Staff recommended approval of the application with conditions. Chad Zittrouer and Wrenn Blalock were present to answer questions.

Result: After review of the criteria, a motion was made to recommend approval of the request with the following conditions:

- 1. That the use of the site be limited to a Building Construction Contractor's Office, an Other Specialty Trade Contractor's Office or a Building Materials Supply Dealer.**
- 2. That the building be no larger than 25,000 square feet in size.**
- 3. That no outdoor storage be permitted on site**

1-Motion: Commissioner Rife

2-Second: Commissioner Daniel

Motion Passed without opposition

- C. Variance request from App. A, Art. III, Sec. 27 – Zoning Buffer Requirements for a 90-foot reduction from the 100-foot adjacent use buffer at 1901 Pine Meadow Dr. to allow for establishment of a 33,867-sf industrial building within the buffer adjacent to the Savannah Ogeechee Canal. (Application # A25-0161)

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for a variance request from App. A, Art. III, Sec. 27 – Zoning Buffer Requirements for a 90-foot reduction from the 100-foot adjacent use buffer at 1901 Pine Meadow Dr. to allow for establishment of a 33,867-sf industrial building within the buffer adjacent to the Savannah Ogeechee Canal. Staff recommended denial of the application based on it not meeting the criteria. Josh Yellin was present to answer questions.

Result: After review of the criteria, a motion was made to recommend denial of the request.

1-Motion: Commissioner Rife

2-Second: Commissioner Brown
Motion Passed without opposition

- D. Site Development Plan Approval for revisions to a previously approved multi-tenant commercial building in the Godley Station PUD at 780 Pooler Parkway. (Application # A25-0041)

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for Site Plan approval for a one-story multi-tenant commercial building at 780 Pooler Parkway. The applicant was not present.

Result: *After review of the criteria, a motion was made to postpone this item since the applicant was not present.*

1-Motion: Commissioner Brown
2-Second: Commissioner Daniel
Motion Passed without opposition

- E. Site Development Plan Approval for a multi-tenant commercial building within the Southern Portion of Godley Station PUD at 129 Pipemakers Circle. (Application # A25-0049)

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for Site Plan approval for a two-story multi-tenant commercial building at 129 Pipemakers Circle. The applicant was not present.

Result: *After review of the criteria, a motion was made to postpone this item since the applicant was not present.*

1-Motion: Commissioner Daniel
2-Second: Commissioner Williams
Motion Passed without opposition

- F. Site Development Plan Approval for a 300-unit multi-family apartment complex (TTRES Pooler 2) within the Savannah Quarters PUD, Phase 7, at 100 Tuxedo Dr. (Application # A25-0063)

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for Site Plan approval for 300-unit multi-family apartment complex at 100 Tuxedo Dr. Staff recommended approval of the application with conditions. Ryan Schubert was present to answer questions.

Result: *After review of the criteria, a motion was made to recommend approval of the request with the following condition:*

- 1. The bond for the land disturbing activities and associated erosion, sedimentation, and pollution control shall be accepted by the Planning & Zoning Commission and the City Council at their respective meetings. This bond is intended to serve as a safeguard to ensure proper maintenance of erosion, sedimentation, and pollution controls through the duration of the land disturbing activity*

permit.

a. The bond shall be posted prior to issuance of the land disturbing activity permit and shall not exceed a value of \$3,000 per acre (or fraction thereof) of the proposed land disturbing activity.

b. If the applicant does not comply with the conditions of the permit after issuance, the local issuing authority may call the bond or any part thereof to be forfeited and may use the proceeds to hire a contractor to stabilize the site of the land-disturbing activity and bring it into compliance.

1-Motion: Commissioner Williams

2-Second: Commissioner Kelly

Motion Passed without opposition

G. Acceptance of Performance Bond in the amount of \$32,610.00 for Thompson Thrift Residential 2, 100 Tuxedo Drive, Subject to City Attorney Approval (Application # A25-0063)

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for approval to accept the Performance Bond in the amount of \$32,610.00 at 100 Tuxedo Dr. Staff recommended approval of the application subject to city attorney approval. Ryan Schubert was present to answer questions.

Result: After review of the bond documents, a motion was made to approve acceptance of the performance bond in the amount of \$32,610.00 for the Thompson Thrift Residential 2 multi-family development, subject to City Attorney approval.

1-Motion: Commissioner Williams

2-Second: Commissioner Cribbs

Motion Passed without opposition

H. Site Development Plan Approval for a two-story commercial office building in the Main Street Overlay District at 317 W. Collins St. (Application # 25-0076)

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for Site Plan approval for a two-story Commercial office building at 317 W. Collins St. Staff recommended approval of the application. Jay Maupin was present to answer questions.

Result: After review of the criteria, a motion was made to recommend approval of the request.

1-Motion: Commissioner Williams

2-Second: Commissioner Brown

Motion Passed without opposition

Adjournment

There being no further business, Chair Johnson asked for a motion to adjourn at approximately 3:42 p.m.

1- Motion: Commissioner Brown

2- Second: Commissioner Kelly

Adjourned without opposition

The foregoing minutes are true and correct and approved by me on this ____ day of _____ 2025.

Rachael Brown, Zoning Administrator



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Development Plan Approval for revisions to a previously approved multi-tenant commercial building in the Godley Station PUD at 780 Pooler Parkway.

Project:	#A24-0041
P&Z Meeting Date:	October 14, 2025
City Council Meeting Date:	October 20, 2025
Applicant and Authorized Agent:	Chris Schneider – EMC Engineering
Location (Address):	780 Pooler Parkway
Parcel (PIN):	50017A01040
Acreage:	Approximately 1.62 acres
Zoning:	PUD (Godley Station)
Proposed Use:	One-story multi-tenant commercial building
Staff Recommendation:	Approval
Planning & Zoning Commission:	TBD
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none"><i>The site is located within an area that is shown on the Future Land Use Map as being Parks/Recreation/Conservation and is shown in the Comprehensive Plan as being within the PUD/Mixed Use Character Area. The proposed one-story multi-tenant commercial building is consistent with the existing PUD/Mixed Use Character Area. The site plan was</i>

originally approved by Council at the March 18, 2024 Council meeting.

2. Whether the site plan provides for adequate pedestrian and traffic access.
 - *The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.*
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - *The site is a large 1.62-acre parcel which will adequately accommodate the proposed multi-tenant commercial building and associated parking.*
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - *Yes, the site plan provides the appropriate location, arrangement, size, and design when considering the surrounding commercial uses, including the Car Wash Express, Viet Huong Oriental Market, Chick-Fil-A, Pooler Professional Center, and a self-storage facility.*
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - *Yes, the proposed site plan is appropriate in scale for the 1.62-acre site and the adjacent properties, including the Car Wash Express, Viet Huong Oriental Market, Chick-Fil-A, Pooler Professional Center, and a self-storage facility.*
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - *The proposed site development is to be adequately served by proposed services.*
7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - *The site is adequately served by public services and for current or projected needs.*
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.

- *The site plan complies with the provisions related to buffer and screening standards.*
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-detering buffer between adjacent properties.
- *The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.*
10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
- *The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.*

Conclusion: The site plan addresses the site plan approval criteria, as such, staff recommends **Approval** of the request.

- Attachments:
- A. Vicinity Map
 - B. Submittal Documentation
 - C. Approval Letter



CITY OF POOLER
 GEORGIA
A great place to Live, Work and Play

Vicinity Map - 780 Pooler Parkway - Site Plan

09/12/2025

Parcels

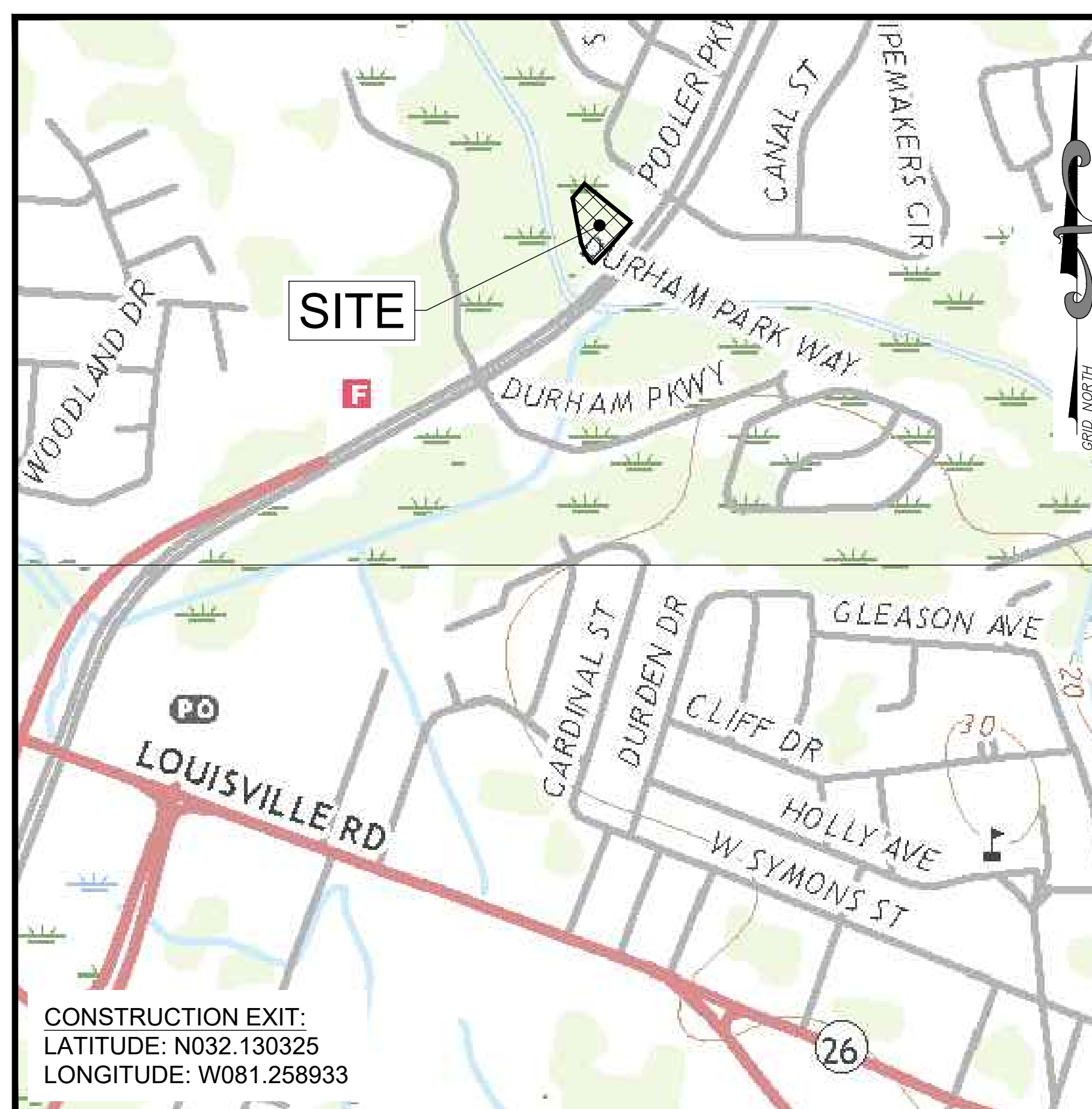


SITE DEVELOPMENT PLANS FOR COMMERCIAL SPACE POOLER, CHATHAM COUNTY, GEORGIA

Prepared for
COMBAT VETERANS, LLC

PROJECT DATA

OWNER/DEVELOPER:	COMBAT VETERANS, LLC 107 GODLEY WAY POOLER, GEORGIA, 31322
24HR CONTACT:	ALEC B. METZGER (912) 644-3223
TAX MAP & PARCEL NUMBER:	50017A01040
PARCEL AREA:	1.62 AC
ZONING CLASSIFICATION:	PUD - PLANNED UNIT DEVELOPMENT
PROPOSED USE:	COMMERCIAL / RETAIL
IMPERVIOUS AREA:	0.81 AC
DISTURBED AREA:	1.42 AC
TOTAL BUILDING AREA:	14,843 SF
PARKING SPACES REQUIRED:	54
PARKING SPACES PROVIDED:	58



VICINITY MAP
NOT TO SCALE

CONSTRUCTION EXIT:
LATITUDE: N032.130325
LONGITUDE: W081.258933

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	GENERAL NOTES
3	EXISTING CONDITIONS AND DEMOLITION PLAN
4	STAKING PLAN
5	UTILITY PLAN
6	PAVING, GRADING, AND DRAINAGE PLAN
7	STORM DRAINAGE PROFILE
8	INITIAL EROSION CONTROL PLAN
9	INTERMEDIATE EROSION CONTROL PLAN
10	FINAL EROSION CONTROL PLAN
11	LANDSCAPE PLAN
12	EROSION CONTROL NOTES
13	EROSION CONTROL NOTES
14	CONSTRUCTION DETAILS
15	CONSTRUCTION DETAILS
16	CONSTRUCTION DETAILS
17	CONSTRUCTION DETAILS
18	CONSTRUCTION DETAILS

THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.

SIGNATURE:

THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.

SIGNATURE:

UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.



PROJECT LOCATION:
780 POOLER PARKWAY
POOLER, CHATHAM COUNTY, GEORGIA
EMC PROJECT# 20-0130
JULY 2023 REVISED JANUARY 2025



EMC ENGINEERING SERVICES, INC.
ENVIRONMENTAL- MARINE - CIVIL - SURVEY

REVISION	DESCRIPTION	DATE
1	REVISIONS PER CITY OF POOLER - INITIAL SUBMITTAL DATE 7/1/2021 - REVISIONS RECEIVED 7/21/2021	9/1/2021
2	REVISIONS PER CITY OF POOLER - RESUBMITTAL DATE 9/1/2021 - REVISIONS RECEIVED 10/6/2021	10/26/2021
3	REVISIONS PER CITY OF POOLER - RESUBMITTAL DATE 10/26/2021 - REVISIONS RECEIVED 11/4/2021	11/1/2021
4	REVISIONS PER CITY OF POOLER - FINAL COMMENTS	8/1/2023
5	OWNER REVISIONS	1/24/25
-	-	-
-	-	-



EMC ENGINEERING SERVICES, INC.
10 CHATHAM CENTER SOUTH, SUITE 100
SAVANNAH, GEORGIA 31405
PHONE: (912) 232-6533
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savannah@emc-eng.com
www.emc-eng.com

ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS • SAVANNAH
STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

PROPOSED FEATURES LEGEND

DEMOLITION

AREA:

DELINEATION:

EROSION CONTROL

BUFFER:

DIVERSION BERM & SWALE:

LIMITS OF DISTURBANCE:

ORANGE BARRIER FENCING:

SILT FENCE (SINGLE ROW):

SILT FENCE (DOUBLE ROW):

PROPERTY

PROPERTY LINE:

EASEMENT:

RIGHT OF WAY:

RW:

SETBACKS:

UTILITIES

AERIAL POWER	E	SANITARY SEWER	SS
AERIAL TELEPHONE	T	FORCEMAIN	FM
AERIAL TRAFFIC SIGNAL	TS	WATER LINE	W
AERIAL CABLE	TV	FIRE WATER LINE	FW
BURIED POWER	E	NATURAL GAS	G
BURIED TELEPHONE	T		
BURIED TRAFFIC SIGNAL	TS		
BURIED CABLE	TV		
PP	POWER POLE	BFP	BACKFLOW PREVENTER
LP	LIGHT POLE	FD	FIRE DEPARTMENT CONNECTION
CO	SANITARY CLEANOUT	FM	FIRE HYDRANT
SS	SANITARY MANHOLE	RPZ	REDUCED PRESSURE ZONE ASSEMBLY
		WM	WATER METER
		V	VALVE

TOPOGRAPHY

CONTOUR & LABELS:

DITCH/SWALE:

GRATE INLET:

DOUBLE WING CURB INLET:

WEIR INLET:

STORM MANHOLE:

FLARED END SECTION:

PAVEMENT HATCHING

HEAVY DUTY ASPHALT PAVING	HEAVY DUTY GRAVEL PAVING	GRAVEL PAVING
ASPHALT PAVING	UNPAVED ROADWAY	UNPAVED WALKWAY
HEAVY DUTY CONCRETE PAVING		
CONCRETE PAVING		

EXISTING FEATURES LEGEND

SYMBOLS

▲ AIF	ANGLE IRON FOUND	● DHS	DRILL HOLE SET	○ OTRP	OPEN TOP PIPE FOUND
▲ AXF	AXLE FOUND	▲ HBS	HUB FOUND	▲ PKF	PK NAIL FOUND
● BMF	BENCHMARK FOUND	▲ HTS	HUB & TACK FOUND	▲ PKF	PK NAIL SET
● BMS	BENCHMARK SET	▲ HTF	HUB & TACK FOUND	○ RBF	REBAR FOUND
● CFS	CHOPS FOUND	▲ HRF	HUB & TACK SET	● RBS	IRON REBAR SET
○ CMF	CONCRETE MONUMENT FOUND	● IRP	IRON PIPE FOUND	● RRF	RAILROAD SPIKE FOUND
● CMS	CONCRETE MONUMENT SET	● IRF	IRON PIPE FOUND	● RRSB	RAILROAD SPIKE SET
● CNF	CONCRETE NAIL FOUND	● IRF	IRON REBAR FOUND	■ RWMF	RIGHT/WAY MONUMENT FOUND
● CNS	CONCRETE NAIL SET	● LT	LINE TREE	■ RWMF	RIGHT/WAY MONUMENT SET
● CPT	CONTROL POINT	▲ MNF	MAG NAIL FOUND	▲ TS	TACK FOUND
● CSF	COTTON SPINDLE FOUND	▲ MNS	MAG NAIL SET	▲ TS	TACK SET
○ CTFP	CRIMP TOP PIPE FOUND	▲ NF	NAIL FOUND	▲ TS	TACK SET
○ DHF	DRILL HOLE FOUND	▲ NS	NAIL SET	▲ TS	TACK SET
EM	ELECTRIC CONTROL BOX	● PIV	PIVOT	▲ TS	TACK SET
EMH	ELECTRIC METER	● PVP	PIVOT	▲ TS	TACK SET
EMH	ELECTRIC MANHOLE	● RPZ	REDUCED PRESSURE ZONE	▲ TS	TACK SET
EO	ELECTRIC OUTLET	● W	WATER WELL	▲ TS	TACK SET
ESD	ELECTRIC STUB OUT	● WM	WATER METER	▲ TS	TACK SET
ETR	ELECTRIC TRANSFORMER	● WSO	WATER MANHOLE	▲ TS	TACK SET
FLP	FLOOD LAMP	● WST	WATER STUB OUT	▲ TS	TACK SET
GL	GROUND LIGHT	● WTV	WATER VALVE	▲ TS	TACK SET
GP	GUY POLE	● FARV	FORCEMAIN AIR RELEASE VALVE	▲ TS	TACK SET
GW	GUY WIRE ANCHOR	● FLMK	FORCEMAIN LINE MARKER	▲ TS	TACK SET
LP	LIGHT POLE	● GST	SANITARY GREASE TRAP	▲ TS	TACK SET
LP-LP	POWER-LIGHT POLE	● SST	SANITARY SEWER CLEANOUT	▲ TS	TACK SET
PP	POWER POLE	● SSMH	SANITARY SEWER MANHOLE	▲ TS	TACK SET
PP	POWER POLE	● SSO	SANITARY SEWER STUB OUT	▲ TS	TACK SET
ELMK	ELECTRIC MARKER	● FENCE POST	FENCE POST	▲ TS	TACK SET
CB	CATCH BASIN	● GATE POST	GATE POST	▲ TS	TACK SET
CB	CATCH BASIN	● POST	POST/POLE	▲ TS	TACK SET
CB	CATCH BASIN	● RD	ROOF DRAIN	▲ TS	TACK SET
CB	CATCH BASIN	● SCP	SECURITY CAMERA POLE	▲ TS	TACK SET
CB	CATCH BASIN	● STUB	STUB OUT	▲ TS	TACK SET
CB	CATCH BASIN	● WF	WETLAND FLAG	▲ TS	TACK SET
CB	CATCH BASIN	● AC	AIR CONDITIONING UNIT	▲ TS	TACK SET

LINETYPES

PROPERTY LINE	EASEMENT
ADJACENT PROPERTY	BUILDING SETBACK
BUILDING	SANITARY SEWER
BUILDING OVERHANG	FORCEMAIN
DITCH CENTERLINE	STORM SEWER
WETLANDS	NATURAL GAS
CREEK CENTERLINE	WATER LINE
100-YEAR FLOODPLAIN	AERIAL TV
500-YEAR FLOODPLAIN	AERIAL FIBER OPTIC
100-YEAR FLOODWAY	AERIAL ELECTRIC
MAJOR CONTOUR	AERIAL TRAFFIC SIGNAL
MINOR CONTOUR	AERIAL TELEPHONE
WOODLINE	BURIED TV
ROADWAY CENTERLINE	BURIED FIBER OPTIC
PAVED ROADWAY	BURIED ELECTRIC
GRAVEL ROADWAY	BURIED TRAFFIC SIGNAL
DIRT ROADWAY	BURIED TELEPHONE
GUARDRAIL	SINGLE ROW SILT FENCE
BARBWARE/HOGWIRE FENCE	DOUBLE ROW SILT FENCE
CHAINLINK FENCE	WOOD/IRON SHADOWBOX FENCE

ABBREVIATIONS

BFE	BASE FLOOD ELEVATION	HDPE	HIGH DENSITY POLYETHYLENE	RCB	CONCRETE BOX CULVERT
CMP	CORRUGATED METAL PIPE	HDW	HEADWALL	RCR	REINFORCED CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE	HML	HIGH WATER LEVEL	THR	THROAT ELEVATION
DIP	DUCTILE IRON PIPE	IE/INV	INVERT ELEVATION	VCP	VITRIFIED CLAY PIPE
FTE	FINISHED FLOOR ELEVATION	LWL	LOW WATER LEVEL	VL	VAULT
FRD	FRENCH DRAIN	PVC	POLYVINYL CHLORIDE PIPE		

GENERAL NOTES

- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF POOLER SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE.
- PRIOR TO INSTALLATION OF ANY UTILITY LINES, THE CONTRACTOR SHALL GIVE THE UTILITY COMPANIES THREE (3) WORKING DAYS NOTICE TO ALLOW TIME FOR EXISTING UTILITIES TO BE STAKED. BEFORE CALLING (811) THE CONTRACTOR SHALL HAVE THE FOLLOWING INFORMATION READY: COUNTY, TOWN, LOCATION, NEAREST STREET INTERSECTIONS, TYPE OF WORK (SEWER, WATER, PAVING, ETC.) YOUR COMPANY NAME, TELEPHONE NUMBER, OWNER'S NAME, DATE AND TIME YOU EXPECT TO COMMENCE CONSTRUCTION, AND WHERE AND HOW YOU CAN BE REACHED AND THE BEST TIME TO CONTACT YOU. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES, AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY VARIANCES PRIOR TO COMMENCEMENT OF WORK OR PURCHASING ANY MATERIALS.
- ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES. EXCEPT AS NOTED BELOW, THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ADJUTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS.
- IT IS THE OBLIGATION OF THE CONTRACTOR TO MAKE HIS OWN INTERPRETATION OF ALL SURFACE AND SUBSURFACE DATA AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED. THE INFORMATION SHOWN ON THESE PLANS AND SPECIFICATIONS DOES NOT IN ANY WAY GUARANTEE THE AMOUNT OR NATURE OF THE MATERIAL WHICH MAY BE ENCOUNTERED.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO ASTM C76 CLASS III. MINIMUM PIPE DIAMETER SHALL BE 15". PIPE JOINTS SHALL BE MADE BY USE OF A CONTINUOUS TYPE I OR II RUBBER GASKET CONFORMING TO THE REQUIREMENTS OF ASTM C443.
- FILL SHALL CONSIST OF SUITABLE MATERIALS WHICH ARE GENERALLY COMPOSED OF SANDS, CLAY-SAND MIXTURES, AND SILT-SAND MIXTURES AND ARE FREE OF ROOTS, TRASH, AND OTHER DELETERIOUS MATERIAL. CLAYS, SILTS, AND ORGANIC SOILS SHALL BE CONSIDERED AS UNSUITABLE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND FURNISHING THE BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. BORROW MATERIAL SHALL BE CAPABLE OF BEING SHAPED AND COMPACTED TO THE REQUIRED DENSITIES SPECIFIED.
- DURING CONSTRUCTION IN THE AREA OF AN INTERSECTION, WORK WILL BE PERFORMED IN SUCH A MANNER AS TO PERMIT TRAFFIC TO OPERATE WITH THE LEAST AMOUNT OF INCONVENIENCE POSSIBLE. ADDITIONAL CHANNELIZATION AND SIGNAGE SHALL BE INSTALLED, AS DIRECTED BY THE ENGINEER, TO ALLOW TRAFFIC TO FLOW AS FREELY AS POSSIBLE. WHEN AN INTERSECTION IS INOPERABLE, FLAGGERS WILL BE UTILIZED TO CONTROL TRAFFIC. ALL TRAFFIC CONTROL DEVICES AND METHODS SHALL BE PER THE M.U.T.C.D.
- A COMPLETE PERMIT SET OF PLANS MUST BE KEPT ON SITE AT ALL TIMES.
- PROTECTION OF EXCAVATED AREAS: - TEMPORARY FENCING SHALL BE USED AROUND OPEN EXCAVATIONS AT ALL TIMES, EXCEPT AS NECESSARY FOR IMMEDIATE CONSTRUCTION. WHEN WORK IS NOT IN PROGRESS, FENCING SHALL ENCLOSE EXCAVATED AREAS. UTILITY TRENCHES SHALL BE BACKFILLED TO GRADE AT THE END OF THE DAY, ALLOWING FOR A MAXIMUM OF 10' (FENCE-PROTECTED) TRENCH TO REMAIN OPEN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.
- LABORATORY COMPACTION, STABILITY AND DENSITY TESTS ARE REQUIRED FOR THE PAVEMENT WITH COMPRESSION FOR THE CONCRETE CURB AND GUTTER.
- CONSTRUCTION WILL BE PERFORMED UNDER THE SUPERVISION OF AN ENGINEER REGISTERED IN THE STATE OF GEORGIA.
- THERMOPLASTIC PAVEMENT MARKINGS ARE REQUIRED WITHIN RIGHT OF WAY. ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS LATEST EDITION.
- SELECT FILL SHALL BE USED IN ALL DRIVEWAYS TO BE LOCATED IN THE CITY'S R/W AND THE FILL SHALL BE COMPACTED TO 100% STANDARD PROCTOR (ASTM D 698).
- TRAFFIC SIGNS INSTALLED INSIDE THE PUBLIC R/W MUST HAVE HIGH INTENSITY OR DIAMOND GRADE SHEETING.
- GDOT PERMIT IS REQUIRED IF ANY WORK IS PROPOSED IN A STATE OR US ROUTE. A COPY OF THE GEORGIA DOT ENCROACHMENT PERMIT APPROVAL PRIOR TO OBTAINING A LAND DISTURBANCE PERMIT.
- AT LEAST TWO BENCHMARKS SHALL BE ESTABLISHED WITHIN A SUBDIVISION. SUCH BENCHMARKS SHALL BE AT OPPOSITE CORNERS OF THE PROPERTY BEING SUBDIVIDED.
- GREENBELT REQUIRED AS A BUFFER BETWEEN INCOMPATIBLE ZONINGS.
- MINIMUM STREET PROFILE GRADE IS 0.3%.
- PAVEMENT REQUIREMENTS: 8.0 INCHES CRUSHED STONE BASE AND 1.5 INCHES ASPHALT WEARING SURFACE IN ACCORDANCE WITH CITY OF POOLER STANDARD DETAILS.
- ALL PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD ON BOTH PUBLIC STREETS AND PRIVATE STREETS THAT ARE "OPEN TO PUBLIC TRAVEL".
- IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE.
- LABORATORY COMPACTION, STABILITY AND DENSITY TESTS ARE REQUIRED FOR THE PAVEMENT WITH COMPRESSION FOR THE CONCRETE CURB AND GUTTER.
- CONSTRUCTION WILL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED ENGINEER.
- ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS.
- THERMOPLASTIC PAVEMENT MARKINGS ARE REQUIRED WITHIN THE RIGHT OF WAY.
- SELECT FILL SHALL BE USE IN ALL ROADS TO BE DEDICATED TO THE CITY.
- ROAD FILL SHALL BE COMPACTED TO 100% STANDARD PROCTOR (ASTM D 698).
- STREET NAME SIGNS SHALL BE PROVIDED BY THE DEVELOPER.
- THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.
- THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.
- EXCAVATIONS:
 - NO PERSON SHALL REMOVE, DIG, EXCAVATE, BORE UNDER, TRENCH, PLOW OR DESTROY ANY PORTION OF ANY SIDEWALK, PUBLIC WAY, RIGHT-OF-WAY AND/OR ROAD, FOR ANY PURPOSE OTHER THAN FOR EMERGENCY UTILITY REPAIRS OR LAYING WATER MAINS, STORM DRAINS OR SANITARY SEWER UNDER THE SUPERVISION AND CONTROL OF THE CITY, WITHOUT FIRST OBTAINING A PERMIT FROM THE CITY OF POOLER.
 - PERMITS SHALL BE APPLIED FOR NOT LESS THAN 72 HOURS, NOT INCLUDING WEEKENDS AND/OR HOLIDAYS, BEFORE ANY EXCAVATION IS SCHEDULED TO BEGIN. THE COST OF OBTAINING A PERMIT SHALL BE AS SET FORTH IN THE SCHEDULE OF FEES AND CHARGES.
 - PERMITS CAN BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT AND/OR THE CITY DESIGNER.
 - IF THERE IS ANY CONFLICT IN THE INTERPRETATION OF REGULATIONS REGARDING EXCAVATION OF UTILITIES, THE INTERPRETATION OF THE CITY OF POOLER SHALL GOVERN.

PRECONSTRUCTION AND CLOSOUT REQUIREMENTS:

- ALL PROJECTS CONSTRUCTED WITHIN THE CITY LIMITS OF POOLER AND/OR CONNECTING TO THE CITY OF POOLER WATER AND SEWER SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF POOLER STANDARD SPECIFICATIONS. NO EXCEPTIONS SHALL BE MADE FOR PRIVATELY MAINTAINED SYSTEMS.
- ALL PROJECTS SHALL BE TIED TO AND SHALL BE COMPLETED ON THE NAVD 1988 VERTICAL DATUM AND THE NAD 83 STATE PLANE COORDINATES. HORIZONTAL DATUM AND SHALL BE BASED ON US SURVEY FEET.
- PRIOR TO BEGINNING OF CONSTRUCTION A PRE-CONSTRUCTION CONFERENCE WILL BE SCHEDULED AND SHALL BE ATTENDED BY THE ENGINEER OF RECORD OR OTHER OWNERS REPRESENTATIVES, THE CONTRACTOR, AND CITY REPRESENTATIVES.
- RECORD DRAWINGS OF THE APPROVED CONSTRUCTION PLANS IN THE FOLLOWING FORMAT SHALL BE DELIVERED TO THE CITY BY THE OWNER'S REPRESENTATIVE IN THE REQUIRED COORDINATE SYSTEM.
 - (1) SET ON REPRODUCIBLE MYLAR
 - (2) SETS ON BOND
 - (1) COMPLETE SET OF DIGITAL RECORD DRAWINGS ON AUTOCAD FILE AND PDF
- (1) ORIGINAL LETTER, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA, CERTIFYING THE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY.
- (3) COPIES OF ALL WARRANTIES, BONDS, AND OPERATION MANUALS SHALL BE SUBMITTED TO THE CITY.
- (3) COPIES OF RECORDED PLANS SHOWING ALL REQUIRED ROW AND OR EASEMENTS FOR PUBLIC AND/OR PRIVATE STREETS, DRAINAGE, UTILITIES, AN/FOR FACILITIES SHALL BE SUBMITTED TO THE CITY.

UTILITY NOTES

- GENERAL:
- THE PIPES, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM ALL FOREIGN MATTER AT ALL TIMES.
 - ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPES SHALL BE REJECTED. ALL FOREIGN MATTER SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND IT SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT FOREIGN MATTER FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE PLUGGED OR CAPPED BY APPROVED MEANS TO FORM A WATER TIGHT SEAL. NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
 - ALL WET TAPS SHALL INCLUDE TAPPING SADDLES, SLEEVES, VALVES AND VALVE BOXES OR MANHOLES AS NOTED ON UTILITIES SHEET. ALL EXCAVATION, PROVIDING AND INSTALLING OF TAPPING SLEEVE, TAPPING VALVE IN A MANHOLE, THRUST RESISTANCE BLOCKS/TIE-RODS/MEGALUGS, BACKFILL, COMPRESSOR, MANPOWER, ETC. WILL BE PROVIDED BY THE CONTRACTOR. THE DEVELOPER/CONTRACTOR IS TO COORDINATE THE WET TAP WITH THE CITY OF POOLER PUBLIC WORKS DEPARTMENT.
 - TAPPING SLEEVES SHALL BE MECHANICAL JOINT TYPE, MUELLER NO. H-615, CLOW F-5205, OR APPROVED EQUAL. TAPPING VALVES SHALL BE MECHANICAL JOINT TYPE GATE VALVES, MUELLER NO 667, CLOW F-5093, OR APPROVED EQUAL.
 - GATE VALVES SHALL BE AMERICAN, WATEROUS, OR EQUAL AND SHALL BE FURNISHED WITH STANDARD OPERATING NUTS. BALL VALVES 2" AND SMALLER SHALL BE DESIGNED FOR A WORKING PRESSURE OF NOT LESS THAN 300 PSI, DOMESTIC MADE BRASS, AND SHALL CONFORM TO AWWA C 800-89.
 - FIRE HYDRANTS SHALL BE 5-1/4" MINIMUM AMERICAN DARLING, MUELLER, M&H, OR APPROVED EQUAL AND SHALL CONFORM TO AWWA C 502.
 - DISINFECTION AND FLUSHING WATER MAINS:

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF ANY DISINFECTION AND FLUSHING OF NEWLY CONSTRUCTED WATER MAINS. FLUSHING WATER AND SUPER CHLORINATED WATER WILL BE DISCHARGED OF BY A METHOD APPROVED BY THE ENGINEER. CHLORINATED DISINFECTED WATER SHALL NOT BE DISPOSED INTO THE EXISTING OR PROPOSED STORM DRAINAGE SYSTEMS.

 - FLUSHING WATER MAY BE DISCHARGED INTO THE SANITARY SEWER SYSTEM AFTER BEING FILTERED OF LARGE SOLIDS AND SEDIMENT UNDER THE SUPERVISION OF THE ENGINEER.
 - FLUSHING PROCEDURES SHALL INCLUDE OPEN-ENDED FLUSHING IN ORDER TO INSURE THE LINE IS CLEAR.
 - FLUSH NEW PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHALL BE DONE AFTER PRESSURE TEST AND BEFORE DISINFECTION.
 - THE LINES SHALL BE FLUSHED USING A METHOD ACCEPTABLE TO THE CITY PRIOR TO CONNECTION TO THE WATER SYSTEM. LINES SHALL BE FLUSHED FOR 30 MINUTES AT A VELOCITY SUFFICIENT TO PURGE THE LINES OF ANY FOREIGN MATTER.
 - CLEAN THE INTERIOR OF ALL PIPE BY BRUSHING, SWABBING, OR WASHING OUT ALL DIRT BEFORE LAYING.
 - ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACK FLOW PREVENTION DEVICE AND FIRE HYDRANT METER.
 - PRIOR TO CONNECTING TO ANY EXISTING WATER MAINS, REUSE MAINS, OR SANITARY SEWER LINES AND PRIOR TO DIGGING FOR PROPOSED CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY OWNER A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
 - AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
 - ALL MATERIALS USED AND THAT COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE / NATIONAL SANITARY FOUNDATION STANDARD 61 (ANSI/NFPA STANDARD 61).
 - MAINTAIN A MINIMUM OF 36" OF COVER FOR ALL MAINS 12" AND SMALLER. A MAXIMUM COVER OF 60" FROM FINISHED GRADE SHALL BE USED UNLESS APPROVED TO AVOID CONFLICT. IF THE COVER IS LESS THAN 36", DUCTILE IRON PIPE SHALL BE USED.
 - ALL PHASES OF CONSTRUCTION OF THE WATER SYSTEM SHALL COMPLY WITH THE GA EDP RULES FOR SAFE DRINKING WATER, CHAPTER 391-3-5 AND THE LATEST EDITION OF THE EPI MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS.
 - MAXIMUM JOINT DEFLECTION AND BENDING OF PVC PIPE SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS.
 - A #12 GAUGE SLOD COPPER TRACING WIRE SHALL BE INSTALLED ON ALL WATER MAINS, WATER LATERALS, FIRE HYDRANTS, POST HYDRANTS, AND/OR BLOW OFFS AND ALONG ALL SANITARY SEWER LINES, LATERALS, AND FORCE MAINS.
 - UNDERGROUND MARKING TAPE SHALL BE INSTALLED OVER ALL WATER MAINS (18" BELOW GRADE)
 - UTILITIES SHALL NOT BE PLACED LONGITUDINALLY UNDER STREET PAVEMENT.
 - MAINTAIN A MINIMUM OF 10' SEPARATION HORIZONTAL AND 18" VERTICAL BETWEEN WATER & SEWER LINES.
 - WATER MAINS MUST BE DIP WHEN CROSSING STREET OR SEWER MAINS.
 - ALL WATER AND SEWER LINES RUNNING UNDER STREETS/SIDEWALKS SHALL BE SLEEVED.
 - ALL PUBLICLY OWNED UTILITIES SHALL BE INSTALLED IN THE ROAD RIGHTS-OF-WAY OR APPROVED ACCESS EASEMENTS.
 - SANITARY SEWER, WATER MAINS, SERVICE LATERALS OR OTHER PUBLICLY OWNED UTILITIES SHALL NOT BE INSTALLED BEHIND OR BETWEEN LOTS WITHOUT THE EXPRESS APPROVAL OF THE CITY OF POOLER. IF ALLOWED THE UTILITY WILL NEED TO BE IN A PROPER EASEMENT.

WATER:

- ALL PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW.
- RESIDENTIAL WATER LATERALS: 1" DIAMETER MINIMUM.
- RESIDENTIAL WATER LATERALS SHALL BE INSTALLED NO MORE THAN 5' FEET FROM THE PROPERTY CORNER.
- THE WATER MAINS AT THE CUL-DE-SAC SHALL BE INSTALLED AROUND THE CUL-DE-SAC THEREBY ELIMINATING THE LATERALS FROM BEING INSTALLED UNDER THE CUL-DE-SAC.
- CUT-OFF VALVES WILL BE LOCATED AT ALL TEES WHERE LINES ARE TWO INCHES OR LARGER.
- ALL GATE VALVES 4" OR LARGER THAT ARE INSTALLED ON A TRANSMISSION LINE SHALL BE INSTALLED IN A MANHOLE. ALL GATE VALVES AT THE ENTRANCE OF A SUBDIVISION THAT TIE INTO A TRANSMISSION LINE SHALL BE INSTALLED IN A MANHOLE. ALL OTHER GATE VALVES CAN BE INSTALLED IN A CAST IRON VALVE BOX WITH A CONCRETE COLLAR AND CONCRETE VALVE MARKER POSTS.
- ALL VALVES SHALL HAVE A CONCRETE MONUMENT WITH "1 W/VALVE" INSCRIBED ON TWO SIDES OF THE MONUMENT, INSTALLED NO MORE THAN 6' AWAY FROM THE VALVE.
- ALL METER CONNECTION POINTS MUST HAVE AN APPROVED, REDUCED PRESSURE BACKFLOW DEVICE. THIS INCLUDES FIRE LINES, IRRIGATION LINES, AND DOMESTIC SUPPLY LINES.
- MAINTAIN A MINIMUM OF 3 FEET OF COVER.
- SERVICE LATERALS UNDER ROADS ARE TO BE SLEEVED AND AT LEAST 30" BENEATH THE ROAD SURFACE.
- PIPE MATERIAL: FOR LINE SIZE 4" - POLYETHYLENE PIPE, 200 PSI, SDR-7CTS
FOR LINE SIZE 4" - 12" PVC C900 DR 18
FOR LINE SIZE > 12" DIP IS REQUIRED. ANSI / AWWA C151 A21.51 AND THICKNESS ACCORDING TO ANSI / AWWA C150 A21.50 FOR PRESSURE CLASS 250. FLANGE PIPE OR VITACULIC GROOVED PIPE SHALL BE PRESSURE CLASS 350.

SANITARY SEWER:

- SANITARY MANHOLES SHALL NOT EXCEED 350-FOOT SPACING.
- PIPE DIAMETER SHALL BE A MINIMUM OF 8 INCHES.
- MINIMUM SIZE OF SANITARY LATERAL IS 4 INCHES.
- LATERALS SHALL CONNECT DIRECTLY TO THE MANHOLE WHEN POSSIBLE, ENTERING AT AN ANGLE OF AT LEAST 90 DEGREES TO THE DIRECTION OF FLOW.
- RESIDENTIAL SEWER LATERALS SHALL BE INSTALLED WITHIN 15 FEET OF THE PROPERTY CORNER.
- SANITARY SEWER CLEANOUTS SHALL BE FLOOD PROOFED AND DESIGNED TO PREVENT INFILTRATION OF FLOOD WATERS INTO THE SYSTEM.
- USE WATERTIGHT MANHOLE RINGS AND COVERS WITHIN OR BELOW BASE FLOOD ELEVATION + 1'.
- CLEANOUTS SHALL BE PROVIDED EVERY 100' AND AT THE BENDS. CLEANOUTS LOCATED WITHIN THE PAVEMENT SHALL BE TRAFFIC RATED.
- MANHOLES SHALL NOT BE PLACED IN SIDEWALKS UNLESS APPROVED BY THE CITY OF POOLER.
- PIPE MATERIAL:
 - SDR 26 PVC SEWER PIPE MEETING THE REQUIREMENTS OF ASTM D3034 FOR PIPES 15" AND SMALLER AND ASTM F679 FOR 18" AND LARGER.
 - DIP MANUFACTURED IN ACCORDANCE WITH ANSI A21.51 WITH THICKNESS ACCORDING TO ANSI A21.50.
- MAINTAIN A MINIMUM COVER OF 3 FEET.
- DROP MANHOLES ARE REQUIRED WHEN THE "INVERT IN" IS 2.0 FEET OR MORE ABOVE THE "INVERT OUT". THE MH MUST BE A 6' DIAMETER PRECAST MH AND CONFORM TO ASTM C478. THE DROP PIPE SHALL BE THE SAME SIZE AS THE INFLUENT PIPE. ALL HARDWARE ON DUCTILE IRON PIPING ASSOCIATED WITH DROP MANHOLES MUST BE STAINLESS STEEL.
- SANITARY SEWER LINE - MINIMUM SLOPE:

4"	1.00%		
8"	0.40%	21"	0.10%
10"	0.28%	24"	0.08%
12"	0.22%	27"	0.07%
14"	0.17%	30"	0.06%
15"	0.15%	33"	0.05%
16"	0.14%	36"	0.05%
18"	0.12%	42"	0.04%

STANDARD

NOTES:

- BRANDNAME PRIME AND TACK COATS WILL BE APPLIED AS LISTED BELOW.
 - PRIME COAT SHALL BE APPLIED AT A RATE OF 0.30 GALLON PER SQUARE YARD TO THE SURFACE OF ALL GRAVEL BASE COURSES.
 - TACK COAT SHALL BE APPLIED AT A RATE OF 0.10 GALLONS PER SQUARE YARD TO THE SURFACE OF THE BRIDGE COURSE BEFORE PLACEMENT OF SURFACE COURSE.
- REFER TO PAVING PLAN FOR LOCATION OF STANDARD AND HEAVY DUTY PAVEMENTS.

CITY OF POOLER
2011 STANDARD DETAIL

TYPICAL PAVEMENT SECTIONS

SCALE: N.T.S.
DATE: June 2012

P-10

GREASE TRAPS:

- GREASE TRAP IS REQUIRED FOR RESTAURANTS / EATING ESTABLISHMENTS (ANY ESTABLISHMENT WITH KITCHEN FACILITIES) WITH A SAMPLING MH ON THE EFFLUENT SIDE BEFORE THE SANITARY LINE FROM THE BUILDING ENTERS THE LINE. MH TO BE A MINIMUM OF 18 INCHES IN DIAMETER.
- GREASE TRAPS ARE TO BE SIZED BASED ON THE SIZE AND USE TYPE OF THE ESTABLISHMENT THEY ARE SERVING.

DRAINAGE NOTES:

- STORM DRAIN PIPE BENEATH CITY MAINTAINED STREETS SHALL BE A MINIMUM OF 18 INCHES IN DIAMETER AND SHALL BE RCP (CLASS III).
- STORM SIDE-DRAIN UNDER DRIVEWAYS AND WALKWAYS SHALL BE 15 INCH MINIMUM. PLASTIC CULVERTS ARE ACCEPTABLE BUT SHALL HAVE CONCRETE HEADWALLS TO PROTECT THE PIPE ENDS.
- LOT DRAINAGE SHALL BE FROM THE REAR TO THE FRONT OF LOTS; 0.5% GRADE MINIMUM. EXCEPTIONS WILL BE CONSIDERED.
- SIDE LOT DRAINAGE SHALL BE PIPED; DITCHES ON SIDE LOT LINES ARE NOT PERMITTED. EXCEPTIONS WILL BE CONSIDERED.
- MINIMUM LOT ELEVATION: FINISHED FLOOR ELEVATIONS SHALL BE AT LEAST ONE FOOT ABOVE THE LEVEL OF THE 100-YEAR FLOOD. THE ENTIRE LOT SHALL BE PROPERLY DRAINED.
- THE CITY WILL NOT ACCEPT DETENTION AREAS FOR MAINTENANCE OR OWNERSHIP.

DATE	REVISION DESCRIPTION
9/1/2021	1 REVISIONS PER CITY OF POOLER
10/29/2021	2 REVISIONS PER CITY OF POOLER
11/1/2021	3 REVISIONS PER CITY OF POOLER
8/1/2023	4 REVISIONS PER CITY OF POOLER
1/2/2025	5 OWNER REVISIONS

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CIVIL ENGINEER
MARINE ENVIRONMENTAL

ALBANY - ATLANTA - AUGUSTA - BRUNSWICK - COLUMBUS
SAVANNAH - STATESBORO - THOMASTON - VALDOSTA - WARNER ROBINS

GENERAL NOTES

COMMERCIAL SPACE

780 POOLER PARKWAY

POOLER, CHATHAM COUNTY, GEORGIA

Prepared for: COMBAT VETERANS, LLC

PROJECT NO.: 20-0130
DRAWN BY: MRK
DESIGNED BY: MRK
SURVEYED BY: BREWER
SURVEY DATE: 2018
CHECKED BY: ABM
SCALE: N/A
DATE: JANUARY 2025

SHEET 2 OF 19

NOTES:

- ALL LINEAR AND RADIAL DIMENSIONS ARE TO THE EDGE OF PAVEMENT.
- MONUMENT SIGNS SHOULD NOT DISPLACE REQUIRED LANDSCAPING.
- SCREEN DUMPSTER AND RECYCLING BINS WITH MASONRY WALL TO MATCH THE BUILDING / OPAQUE METAL GATES AND EVERGREEN PLANTINGS.
- THIS PARCEL LIES WITHIN A ZONE AE (EL. 19) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP 13051C0019H EFFECTIVE DATE JULY, 2014.
- NO STATE WATERS EXIST ON SITE WITH WRESTED VEGETATION ARE PRESENT ON SITE.
- NO WETLANDS PRESENT ON SITE.

SITE DATA:

PARCEL: 1.62 AC.
 ZONING: PUD
 FRONT BUILDING SETBACK: 50'
 SIDE BUILDING SETBACK: 25'
 REAR BUILDING SETBACK: 25'

GREENSPACE REQUIREMENTS:

IMPERVIOUS AREA: 0.67 AC
 GREENSPACE: 0.67 AC
 20% MINIMUM GREENSPACE REQUIRED
 41% GREENSPACE PROVIDED

BUILDING INFORMATION:

- 14,843 SF
- MAX. BLDG HEIGHT: 36'-0" TO PARAPET
- MAXIMUM ALLOW HEIGHT IS 50 FT PER SOUTH GOOLEY STATION PUD GUIDELINES.

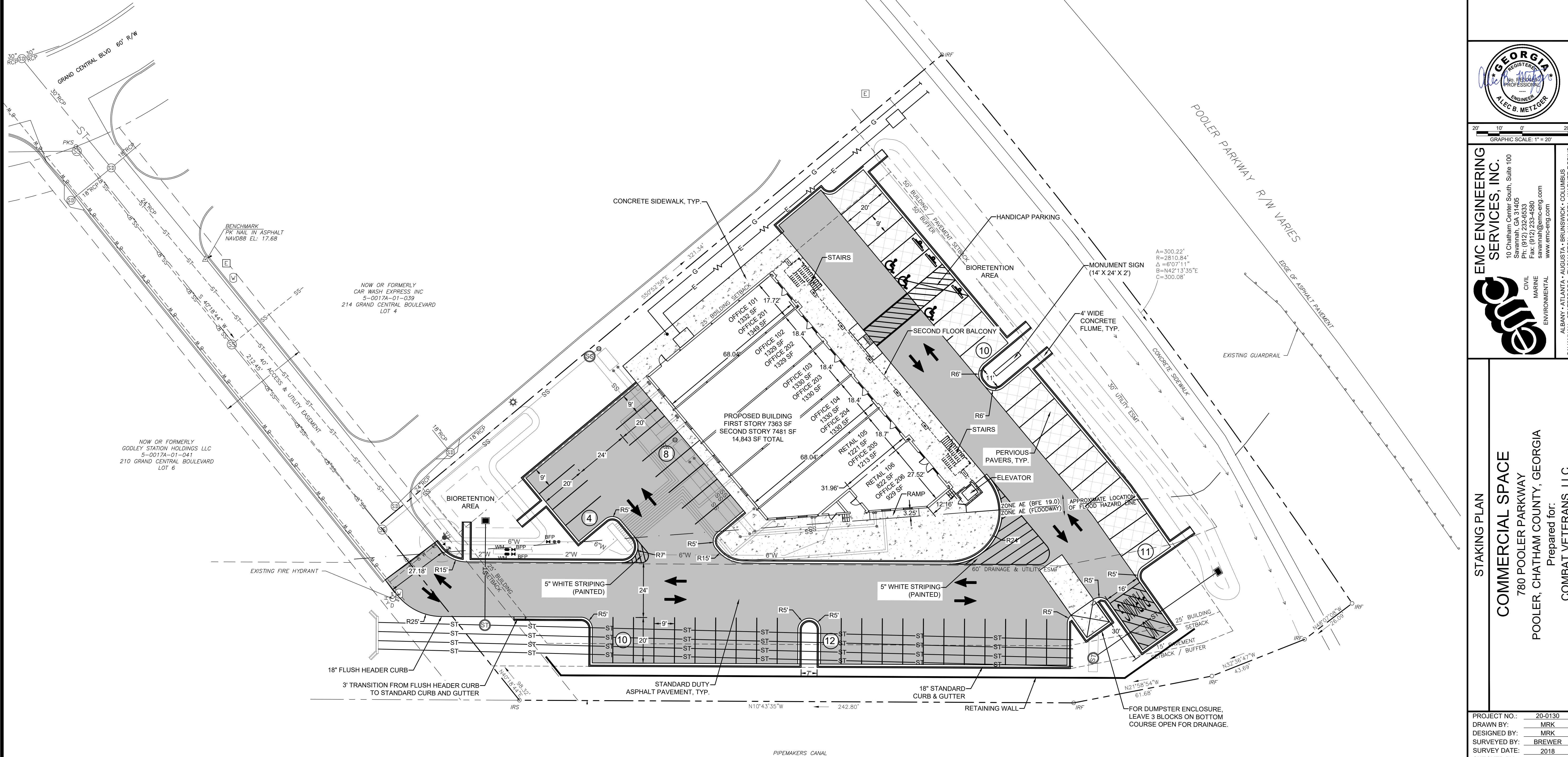
PARKING DATA:

RETAIL STORES: 2,043 SF
 PARKING REQUIRED: 5 SPACES PER 1,000 SF (SHOPPING CENTER)
 PARKING REQUIRED: 11

OFFICES: 12,801 SF
 PARKING REQUIRED: 1 SPACE PER 300 SF
 PARKING REQUIRED: 43

TOTAL PARKING REQUIRED: 54
 PARKING PROVIDED: 55

HANDICAP PARKING REQUIRED: 3
 HANDICAP PARKING PROVIDED: 3



NO.	REVISION DESCRIPTION	DATE
1	REVISIONS PER CITY OF POOLER	9/1/2021
2	REVISIONS PER CITY OF POOLER	10/26/2021
3	REVISIONS PER CITY OF POOLER	11/1/2021
4	REVISIONS PER CITY OF POOLER	8/1/2023
5	OWNER REVISIONS	1/2/25



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CIVIL MARINE ENVIRONMENTAL

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 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

STAKING PLAN

COMMERCIAL SPACE
 780 POOLER PARKWAY
 POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:
COMBAT VETERANS, LLC

PROJECT NO.:	20-0130
DRAWN BY:	MRK
DESIGNED BY:	MRK
SURVEYED BY:	BREWER
CHECKED BY:	ABM
SCALE:	1" = 20'
DATE:	JANUARY 2025

G:\2025\20-0130-0130-780 POOLER PARKWAY\DWG\20-0130_01 STORY_B-2025.DWG 8/20/2025 11:10 AM

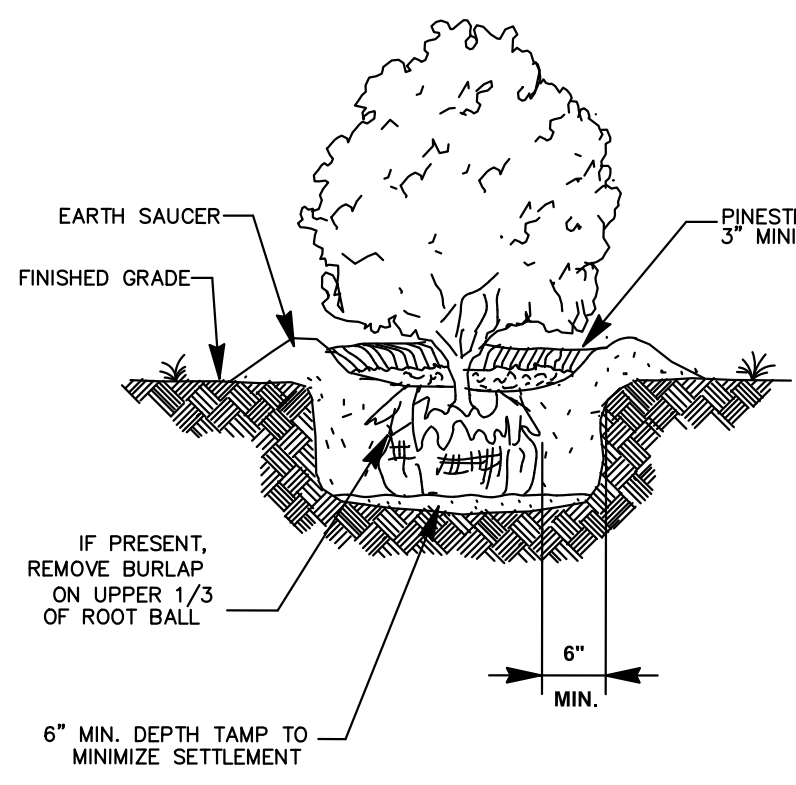
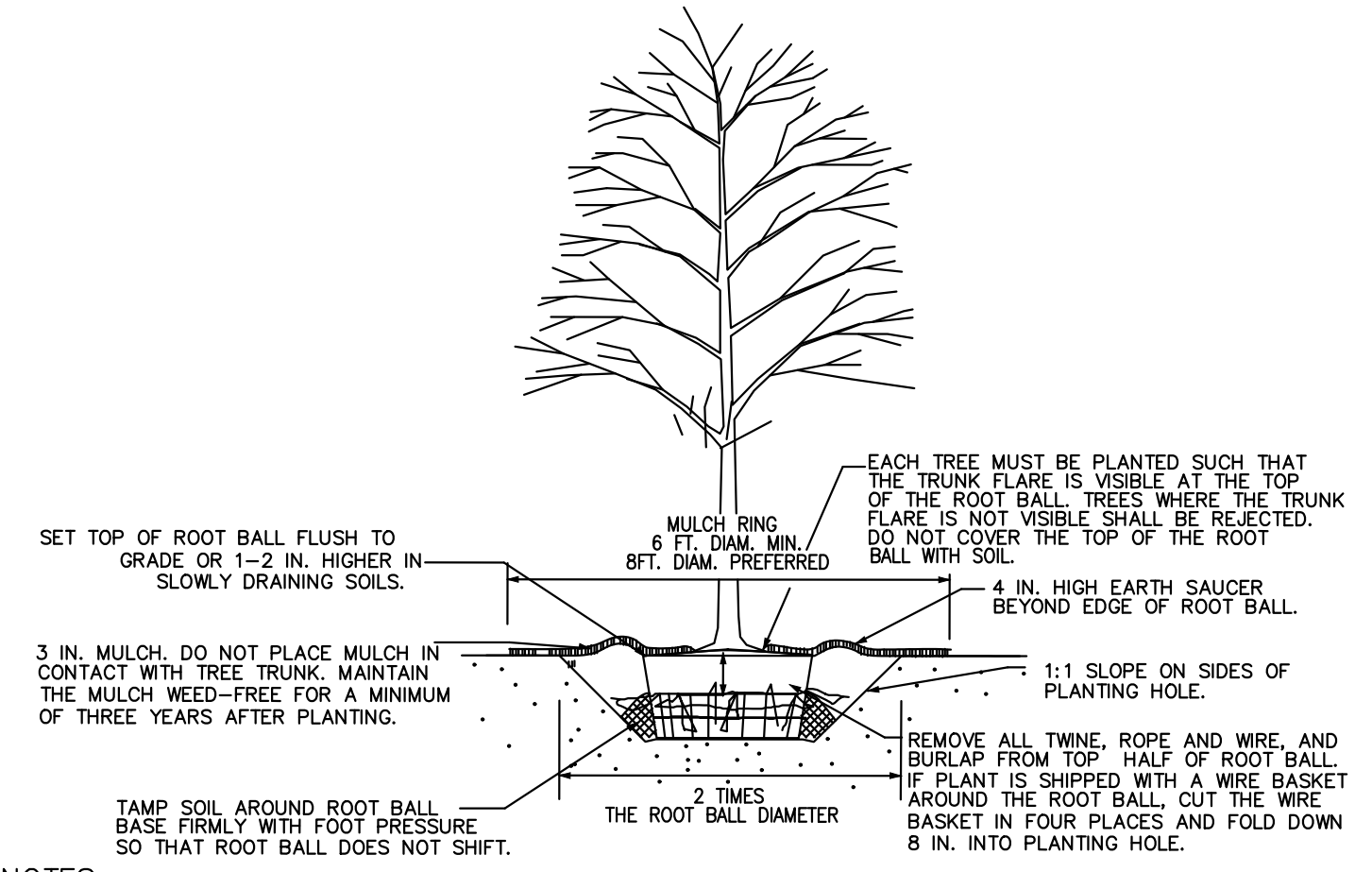
TREE NOTES:

1. A RESIDENTIAL LOT SHALL HAVE A MINIMUM OF 3 PREFERRED TREES, OF WHICH ONE SHALL BE LOCATED IN THE FRONT OF THE RESIDENCE.
2. MULTI-FAMILY, COMMERCIAL AND INDUSTRIAL REQUIREMENT-THE MINIMUM ALLOWABLE POST DEVELOPMENT TREE COVERAGE FOR ALL DEVELOPMENT SITES SHALL BE 15 EXISTING TREES (EXCLUDING PINE TREES AND SWEET GUMS), EIGHT-INCH DIAMETER AT BREAST HEIGHT (DBH) OR LARGER PER ACRE DEVELOPABLE LAND (EXCLUDING BUFFERS AND WETLANDS). EACH TREE WITH A DIAMETER OF 24 INCHES DBH OR LARGER (18 INCHES DBH FOR LIVE OAKS) MUST BE DESIGNATED ON THE LANDSCAPE PLAN AND MAY COUNT AS FIVE TREES TOWARDS MEETING THE MINIMUM ALLOWABLE COVERAGE. EACH TREE WITH A DIAMETER OF 36 INCHES DBH OR LARGER (30 INCHES DBH FOR LIVE OAKS) MUST ALSO BE DESIGNATED ON THE LANDSCAPE PLAN AND MAY COUNT AS TEN TREES TOWARDS MEETING THE MINIMUM ALLOWABLE COVERAGE.
3. A TREE WITH DBH OF 24" (EXCEPT SWEET GUMS AND PINES), LIVE OAKS WITH DBH OF 18".
4. IF A SIGNIFICANT TREE IS TO BE REMOVED, THE PLANTING OF NEW TREES OF THE SAME SPECIES, OR IF PREFERRED SPECIES IF THE SAME SPECIES IS NOT AVAILABLE, TOTALING THE SAME NUMBER OF INCHES IN DIAMETER WILL BE REQUIRED. REPLACEMENT TREES SHALL HAVE A MINIMUM DBH OF SIX INCHES.
5. REPLACEMENT TREES SHALL BE AT LEAST 2" DBH AND 8' TALL.
6. PARKING LOT ISLANDS - A 400 SF (MIN) LANDSCAPED ISLAND AREA WITH AT LEAST 1 PREFERRED TREE IS REQUIRED FOR EVERY 12 PARKING SPACES.
7. THE AREA WITHIN THE TREE PROTECTION ZONE MUST BE OPEN AND UNPAVED, EXCEPT WHERE APPROVED PERVIOUS PAVERS MAY BE UTILIZED OR TREE AERATION SYSTEMS AND TREE WELLS ARE INSTALLED.
8. THE PROTECTION ZONE IS DEFINED AS A CIRCLE WITH A RADIUS OF 1" PER 1" DBH EXTENDING OUTWARDLY FROM THE TREE TO BE PROTECTED OR THE EXTENT OF THE DRIP LINE, WHICHEVER IS MORE RESTRICTIVE.
9. TREE PROTECTIVE BARRIERS MUST BE AT LEAST 4' IN HEIGHT, BE PROMINENT VISUALLY AND ERRECTED COMPLETELY AROUND THE PROTECTION ZONE. THE USE OF ORANGE POLYETHYLENE SAFETY FENCING OR A SIMILAR MATERIAL IS REQUIRED AS A MINIMUM.
10. TREES SHALL NOT BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY OR STORM DRAIN.
11. ALL TREES AND LANDSCAPED AREAS SHALL BE PROVIDED WITH A MEANS FOR DELIVERY OF WATER IN A QUANTITY THAT IS SUFFICIENT TO ESTABLISH AND MAINTAIN THE VIABILITY OF THE PLANTS. A WATER SUPPLY IS NOT REQUIRED FOR AREAS OF ESTABLISHED TREES AND OTHER VEGETATION THAT ARE RETAINED FOR GREEN SPACE, PROVIDED THAT SITE GRADING OR DEVELOPMENT ACTIVITIES WILL NOT RESULT IN DAMAGE TO SAID AREAS.
12. FOR RESIDENTIAL - AMERICAN HOLLY, BIRCH, CYPRESS, DOGWOOD, HICKORY, LIVE OAK, MAGNOLIA, MAPLE, PECAN, SYCAMORE, WALNUT, WILLOW, DRAKE ELM, BOSQUE ELM, AND ALEE ELM.
13. FOR MULTI-FAMILY, COMMERCIAL, PUBLIC INSTITUTIONAL OR INDUSTRIAL DEVELOPMENTS-AMERICAN HOLLY, BIRCH, CYPRESS, HICKORY, LIVE OAK, MAPLE, PALM (GREATER OR EQUAL TO EIGHT-INCH DBH), SYCAMORE, WALNUT, WILLOW, DRAKE ELM, BOSQUE ELM, AND ALEE ELM.

LANDSCAPE NOTES:

1. ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING, OR LANDSCAPING SHALL BE GRASSED BY BERMUDA SODS/SEED. OWNER WILL DETERMINE EXTENT OF SODDING VS. SEEDING. THE CONTRACTOR WILL UTILIZE EXISTING GRASS WHENEVER POSSIBLE.
2. ALL PLANT BEDS SHALL BE MULCHED WITH 3" OF PINE STRAW OR AS DIRECTED BY OWNER.
3. NO LARGE TREES SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN.
4. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO BEGINNING PLANT INSTALLATION. LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING.
5. SEE DETAILS FOR SHRUB AND TREE INSTALLATION.
6. TOP SOIL SHALL BE ADDED TO WITHIN 1" OF TOP OF CURB / EDGE OF PAVEMENT.
7. AN UNDERGROUND IRRIGATION SYSTEM, IF INSTALLED, SHALL COMPLY WITH ALL THE REQUIREMENTS AND REGULATIONS OF THE CITY AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
8. QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY.
9. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN TAKEOFF.
10. MONUMENT SIGNS SHOULD NOT DISPLACE REQUIRED LANDSCAPING.
11. SCREEN DUMPSTER AND RECYCLING BINS WITH MASONRY WALL TO MATCH THE BUILDING AND OPAQUE METAL GATES AND EVERGREEN PLANTINGS.
12. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM THE ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.
13. THERE ARE NO SIGNIFICANT TREES ON SITE.

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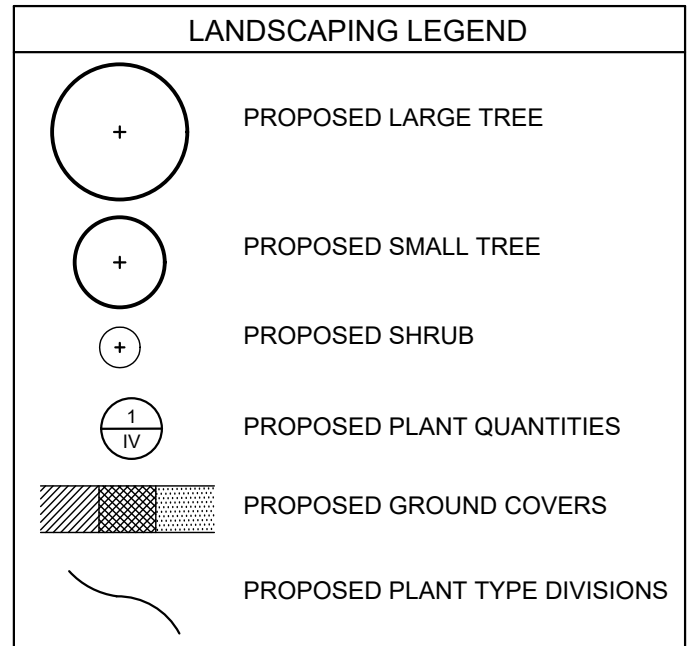


- NOTES**
1. CLEANLY PRUNE ONLY DAMAGED, DISEASED AND OR WEAK BRANCHES IF NECESSARY.
 2. FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.

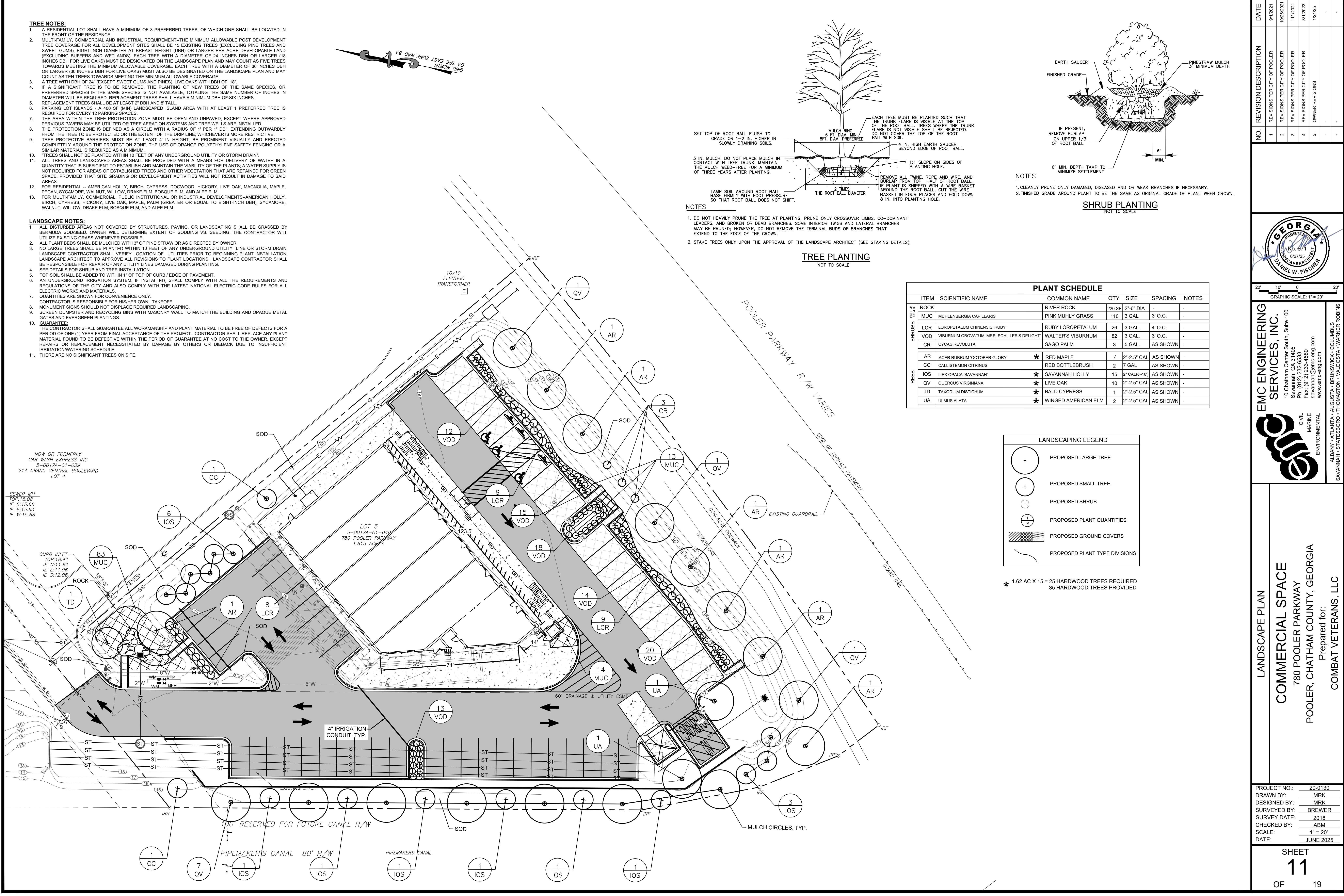
- NOTES**
1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT (SEE STAKING DETAILS).

TREE PLANTING
NOT TO SCALE

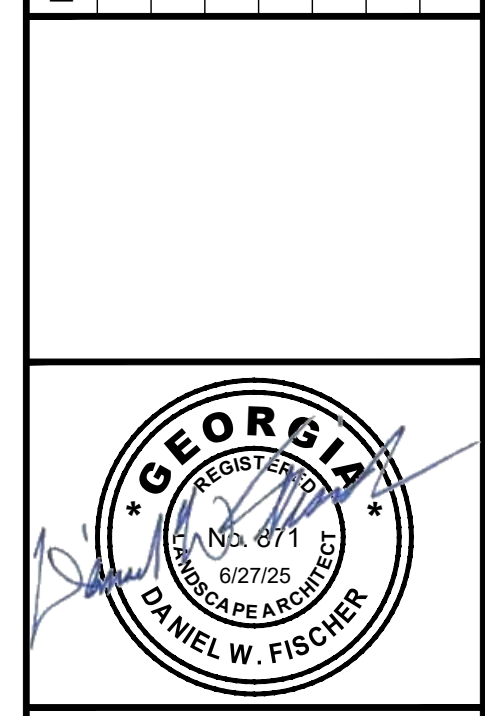
PLANT SCHEDULE							
ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	NOTES	
ROCK		RIVER ROCK	220 SF	2"-6" DIA	-	-	
MUC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	110	3 GAL	3' O.C.	-	
LCR	LOROPETALUM CHINENSIS 'RUBY'	RUBY LOROPETALUM	26	3 GAL.	4' O.C.	-	
VOD	VIBURNUM OBOVATUM MRS. SCHILLER'S DELIGHT	WALTER'S VIBURNUM	82	3 GAL.	3' O.C.	-	
CR	CYCAS REVOLUTA	SAGO PALM	3	5 GAL.	AS SHOWN	-	
AR	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	7	2'-2.5" CAL	AS SHOWN	-	
CC	CALLISTEMON CITRINUS	RED BOTTLEBRUSH	2	7 GAL	AS SHOWN	-	
IOS	ILEX OPACA 'SAVANNAH'	SAVANNAH HOLLY	15	2" CAL(8'-10')	AS SHOWN	-	
QV	QUERCUS VIRGINIANA	LIVE OAK	10	2'-2.5" CAL	AS SHOWN	-	
TD	TAXODIUM DISTICHUM	BALD CYPRESS	1	2'-2.5" CAL	AS SHOWN	-	
UA	ULMUS ALATA	WINGED AMERICAN ELM	2	2'-2.5" CAL	AS SHOWN	-	



* 1.62 AC X 15 = 25 HARDWOOD TREES REQUIRED
35 HARDWOOD TREES PROVIDED



NO.	REVISION DESCRIPTION	DATE
1	REVISIONS PER CITY OF POOLER	9/1/2021
2	REVISIONS PER CITY OF POOLER	10/26/2021
3	REVISIONS PER CITY OF POOLER	11/1/2021
4	REVISIONS PER CITY OF POOLER	8/1/2023
5	OWNER REVISIONS	1/24/25



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CIVIL MARINE ENVIRONMENTAL

ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS
SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

LANDSCAPE PLAN

COMMERCIAL SPACE
780 POOLER PARKWAY
POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:
COMBAT VETERANS, LLC

PROJECT NO.: 20-0130
DRAWN BY: MRK
DESIGNED BY: MRK
SURVEYED BY: BREWER
SURVEY DATE: 2018
CHECKED BY: ABM
SCALE: 1" = 20'
DATE: JUNE 2025

SHEET 11 OF 19

24x36 THIS DRAWING IS THE PROPERTY OF BARNARD ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF SAME. IT IS NOT TO BE USED ON ANY OTHER PROJECTS AND IS TO BE RETURNED ON REQUEST. SCALES STATED HEREON ARE VALID ON THE ORIGINAL DRAWING ONLY AND MAY BE CHANGED IN PROPORTION TO THE DIFFERENCE IN SIZE BETWEEN THE PRINT AND THE ORIGINAL. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT WITH ARCHITECT FOR CLARIFICATION.



- 36' Top of The Parapet
- 33' Canopy Over Walkway 2n FL
- 32' Top of the Signage/ACT
- 26' Windows Head 2nd FL
- 20' Top of the Glass Railing
- 17' . Band On the edge of walk way
- 16'-4" Top of Walk Way 2nd Floor
- 16' Top of ACT/
- 11'-6" Band Under Signage Wall
- 10' Windows Head
- 0' Ground Floor

Metal Rod holding the glass railing, no Pillars on the 2nd Floor.

Pillars Holding walkway

ELEVATION MATERIALS

EXTERIOR BUILDING MATERIALS WILL INCLUDE THE FOLLOWING:

- BRICK MASONRY
- EIFS STUCCO
- ALUMINUM STOREFRONT & GLASS

FINAL PLACEMENT OF MATERIALS INCLUDING FINAL BUILDING ELEVATION DESIGN AESTHETIC TO BE DEVELOPED AND DETERMINED.

1" visible above the Windows Head
Under the walkway when looking from a distance.

BARNARD ARCHITECTS
 ARCHITECTURE, PLANNING, LANDSCAPE, INTERIORS, HISTORIC
 220 EAST HALL STREET, SAVANNAH, GA 31401 (912) 232 - 6173 www.BarnardArchitects.com
 ASSOCIATES: L. SCOTT BARNARD & ROBERT J. PORTMAN

ARCHITECT & ENGINEER SEAL

NEW TWO STORY MIX-USE BUILDING
 The Shops at Pooler Parkway LLC
 780 POOLER PARKWAY
 Pooler, Georgia
Building Elevation Example

Project Status: SPR
 Date: 4.25.25
 Full Scale @ 24x36
 Half Scale @ 12x18
 Revisions:
 Number Date

Attachment B

Appendix A: Stormwater Facility Inspection & Maintenance Agreement

This AGREEMENT, made and entered into this 24th day of June, 2021, by and between Combat Veterans, LLC, his/her successors and assigns, including but not limited to any homeowners association, commercial developer, holder of any portion of the below described property, and/or similar (hereinafter called the "Landowner"), and the City of Pooler, Georgia; hereinafter called the "City", as required by state and local regulation and ordinances.

WITNESSETH, that WHEREAS, the Landowner is the owner of certain real property described as 780 Pooler Pkwy and recorded by plat in the land records of Chatham County, Georgia, Plat Book 911 Page 738, hereinafter called the "Property".

WHEREAS, the Landowner is proceeding to develop the property and/or build upon the property; and

WHEREAS, the Stormwater Management and Operations and Maintenance (O&M) Plan; hereinafter called "the Plan", which is expressly made a part hereof, as approved or to be approved by the City, provides for management of stormwater runoff for the property; and

WHEREAS, the Landowner, its successors and assigns, agree that the health, safety, and welfare of the residents of Pooler, Georgia, require that stormwater management facilities be constructed and maintained on the Property and in accordance with the Plan; and

WHEREAS, the City requires that stormwater management facilities as shown within the Plan be constructed and adequately maintained by the Landowner, its successors and assigns.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The stormwater management facilities shall be constructed and/or upgraded as well as maintained by the Landowner, its successors and assigns, in accordance with the specifications identified in the Plan.
2. The Landowner, its successors and assigns, shall adequately maintain the stormwater management facilities and perform the work necessary to keep those facilities in good working order at all times, as described in the Plan. This includes all pipes, channels or other conveyances built to convey stormwater to the facility, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater runoff. Adequate maintenance is herein defined as good working condition so that these facilities are performing their approved design functions.

Attachment B

3. The Landowner, its successors and assigns, shall inspect the stormwater management facility annually and maintain an inspection report on site that will be available for review by the City. The purpose of the inspection is to ensure safe and proper functioning of the stipulated facilities. The inspection shall cover all applicable stormwater management facilities, including but not limited to, conveyance measures, berms, outlet structures, pond areas, etc. Deficiencies shall be noted in the inspection report along with a schedule for repair. The inspection procedures, frequency and report shall follow the procedures established and approved in the Plan.
4. The Landowner, its successors and assigns, hereby grant permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the stormwater management facilities whenever the City deems necessary and with reasonable notice having been given to the Landowner. The City shall provide the Landowner, its successors and assigns, copies of the inspection findings and a directive to commence with the repairs if necessary.
5. In the event the Landowner, its successors and assigns, fails to maintain the stormwater management facilities in good working condition acceptable to the City, the City may issue citations to the Landowner for resulting, continuing ordinance violations (as set forth in the Pooler City Code of Ordinances), until such time as the issues are satisfactorily resolved. Additionally, the City may enter upon the Property and implement the necessary measures to correct deficiencies identified in the inspection report and to recover the costs of such repairs from the Landowner, its successors and assigns through the appropriate means. This provision shall not be construed to allow the City to erect any structure of permanent nature on the land of the Landowner outside of the easement for the stormwater management facilities. It is expressly understood and agreed that the City is under no obligation to routinely maintain or repair said facilities, and in no event shall this AGREEMENT be construed to impose any such obligation on the City.
6. Landowner, its successors and assigns, will perform the work necessary to keep these facilities in good working order as appropriate. In the event a maintenance schedule for the stormwater management facilities (including sediment removal) is outlined on the approved plan, the schedule will be followed.
7. In the event the City, pursuant to this AGREEMENT, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner, its successors and assigns, shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder. Work will not commence without written notice from the City to the owner.
8. This Agreement imposes no liability of any kind whatsoever on the City and the Landowner agrees to hold the City harmless from any liability in the event the stormwater management facilities fail to operate properly.

Attachment B

9. This AGREEMENT shall constitute a covenant running with the land, and shall be binding on the Landowner, its administrators, executors, assigns, heirs and any other successors in interests, including any homeowners association.

CERTIFICATION

OWNER:

WITNESS the following signatures and seals.



Company/Corporation/Partnership Name (Seal)

By: Combat Veterans LLC
Ashiq Khan(CEO)
(Type Name and Title)

The foregoing AGREEMENT was acknowledged before me this 4th day of August, 2021, by

Laura S. Green



NOTARY PUBLIC

My Commission Expires: 8/8/2023





September 10th, 2025

Alec B. Metzger, P.E.
EMC Engineering Services
27 Chatham Center South, Suite A
Savannah, GA 31405

Dear Mr. Metzger,

I am pleased to provide you with a recommendation for Approval of the site development plans submitted under the title of “Commercial Space” (Application No. A25-0041), which is provided below.

<u>Submittal Documents:</u>	Site Development Plans.....	<i>Sept. 2025</i>
	Architectural Review Approval.....	<i>Aug. 2025</i>
	Lighting Plan.....	<i>Aug. 2025</i>
	Hold Harmless Agreement.....	<i>Aug. 2025</i>
	Architectural Exhibit.....	<i>May 2025</i>
	Traffic Memo.....	<i>May 2025</i>
	Water System Report.....	<i>Mar. 2025</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for ensuring that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.

Based on our comprehensive review, it is our professional opinion that the submitted plans are in substantial conformance with the City of Pooler’s applicable design standards, codes, and ordinances. Accordingly, we respectfully recommend Site Plan Approval





EOM Operations
Your solution to a better tomorrow

Attachment C

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Nicole Johnson; Director of Planning & Development – City of Pooler
Marcella Benson; City Planner- City of Pooler
Ryan Jarles; City Planner – City of Pooler
Rachael Brown; Zoning Administrator – City of Pooler



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Development Plan Approval for a two-story multi-tenant commercial building within the Godley Station PUD at 129 Pipemakers Circle.

Project:	#A24-0049
P&Z Meeting Date:	September 22, 2025
City Council Meeting Date:	October 6, 2025
Applicant and Authorized Agent:	Alec Metzger – EMC Engineering
Location (Address):	129 Pipemakers Circle
Parcel (PIN):	50017B05077
Acreage:	Approximately 1.66 acres
Zoning:	PUD (Godley Station)
Proposed Use:	Two-story multi-tenant commercial building
Staff Recommendation:	Approval
Planning & Zoning Commission:	TBD
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none"><i>The site is located within an area that is shown on the Future Land Use Map as being split, with commercial on the northern portion and parks/recreation/conservation on the southern portion and is shown in the Comprehensive Plan as being within the Shopping and Dining Character Area. The proposed multi-tenant building is consistent with the existing surrounding commercial context of the area, including four multi-</i>

tenant commercial plazas (Parkway Professional Plaza and Pooler Park Offices Center, and the Pooler Professional Center, and Pooler Park Business Center), a large self-storage facility, and Cheerleading facility.

2. Whether the site plan provides for adequate pedestrian and traffic access.
 - *The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.*
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - *The site is a large 1.66-acre parcel which will adequately accommodate the proposed multi-tenant commercial building and associated required parking.*
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - *Yes, the site plan provides the appropriate location, arrangement, size, and design when considering the surrounding developments, which includes four multi-tenant commercial plazas (Parkway Professional Plaza and Pooler Park Offices Center, and the Pooler Professional Center, and Pooler Park Business Center), a large self-storage facility, and Cheerleading facility.*
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - *Yes, the proposed site plan is appropriate in scale for the 1.66-acre site and the adjacent properties, including four multi-tenant commercial plazas (Parkway Professional Plaza and Pooler Park Offices Center, and the Pooler Professional Center, and Pooler Park Business Center), a large self-storage facility, and Cheerleading facility.*
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - *The proposed site development is to be adequately served by existing services.*
7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.

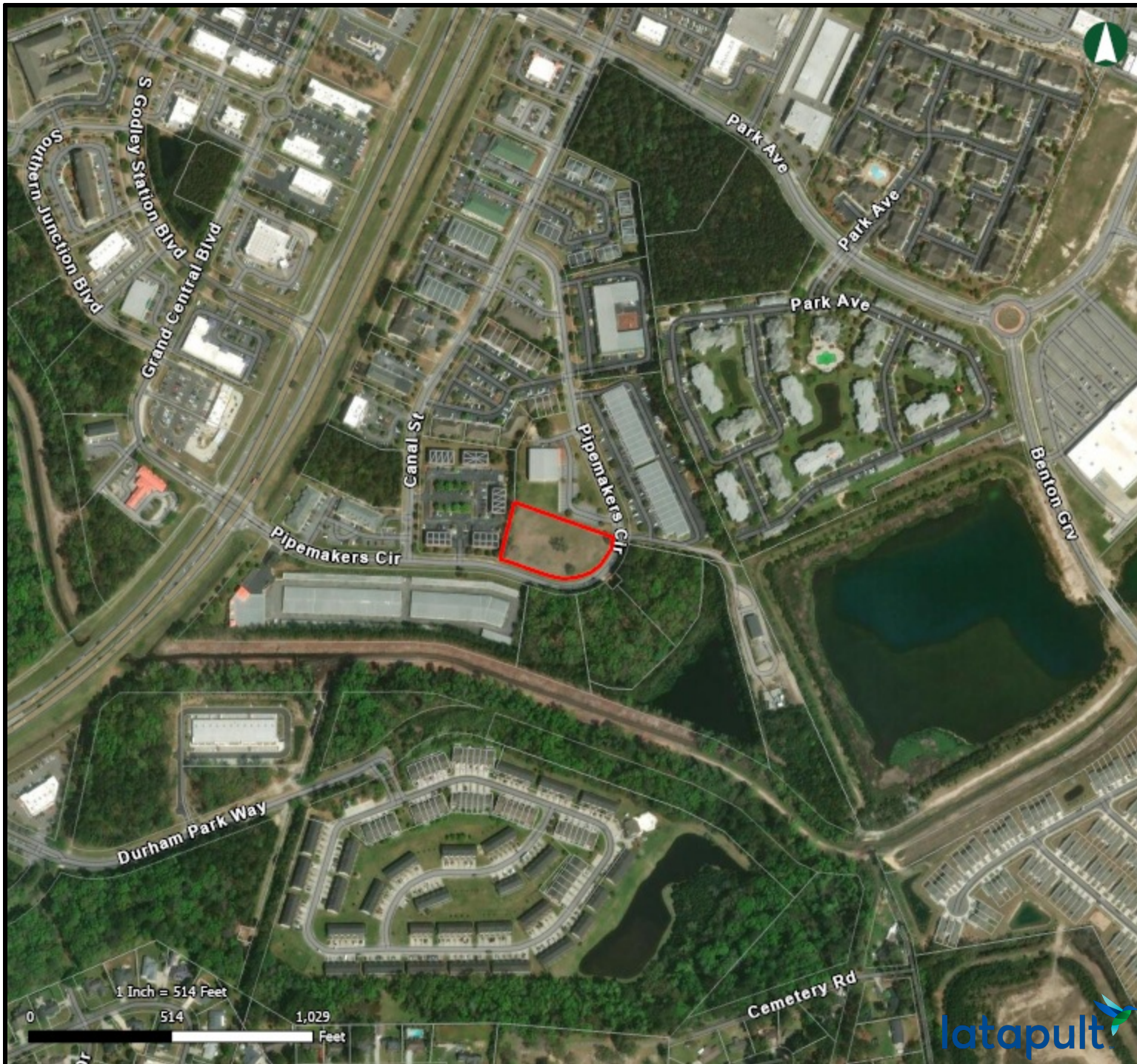
- *The site is adequately served by public services and for current or projected needs.*
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
- *The site plan complies with the provisions related to buffer and screening standards.*
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-detering buffer between adjacent properties.
- *The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.*
10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
- *The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.*

Conclusion:

The site plan addresses the site plan approval criteria, as such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Submittal Documentation
- C. Approval Letter



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Vicinity Map - 129 Pipemakers Circle - Site Development Plan

09/10/2025

Parcels



SITE DEVELOPMENT PLANS FOR 129 PIPEMAKERS CIRCLE

POOLER, CHATHAM COUNTY, GEORGIA

Prepared for
COMBAT VETERANS, LLC

PROJECT DATA

OWNER/DEVELOPER: COMBAT VETERANS, LLC
107 GODLY WAY
POOLER, GA 31322

24HR CONTACT: ALEC METZGER
(912) 644-3223

TAX MAP & PARCEL NUMBER: 50017B05077

PARCEL AREA: 1.66 AC

ZONING CLASSIFICATION: PUD

PROPOSED USE: COMMERCIAL

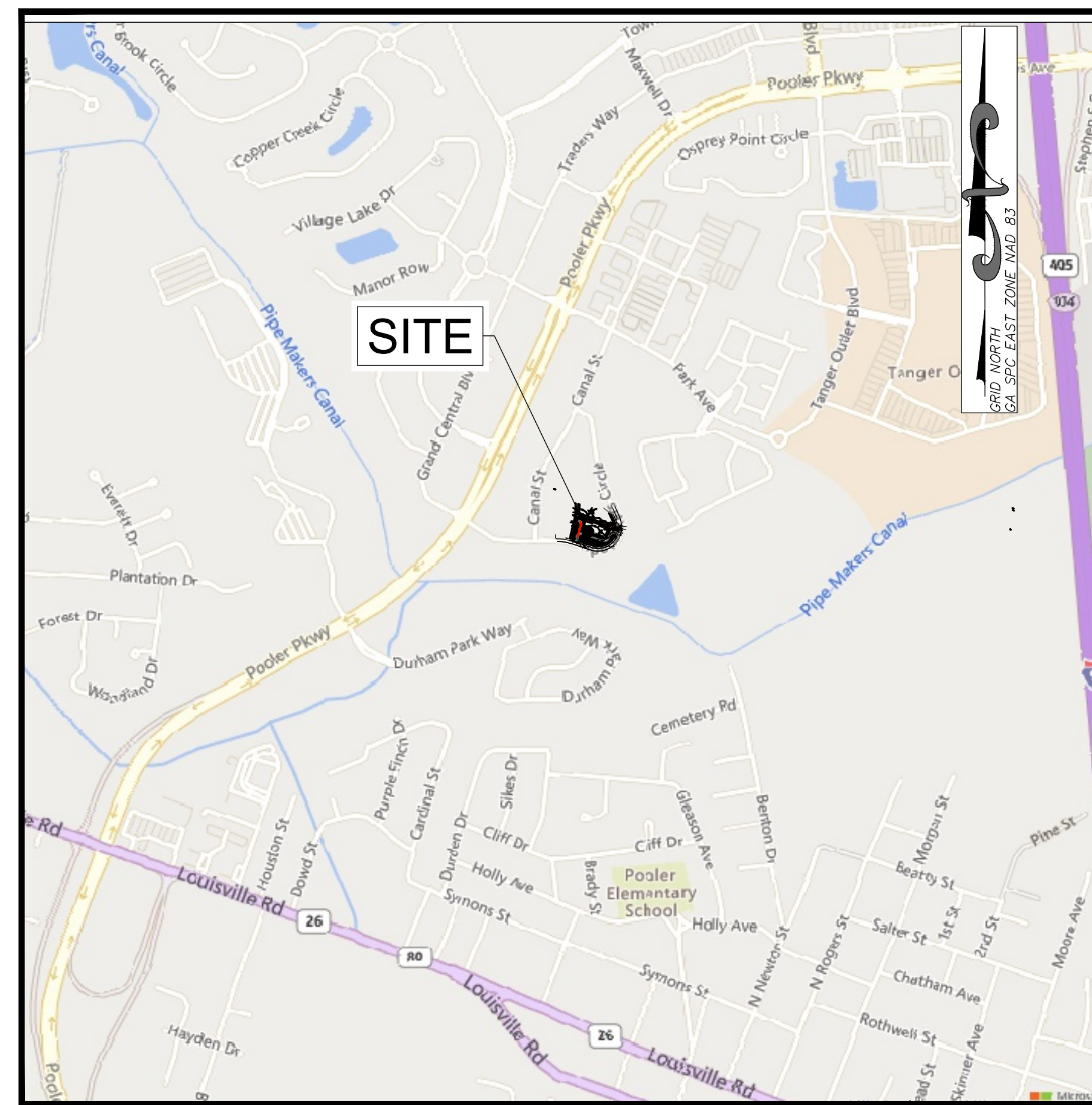
IMPERVIOUS AREA: 0.95 AC

DISTURBED AREA: 1.56 AC

TOTAL BUILDING AREA: 21,600 SF

PARKING SPACES REQUIRED: 72

PARKING SPACES PROVIDED: 72



VICINITY MAP
NOT TO SCALE

PROJECT LOCATION:
129 PIPEMAKERS CIRCLE
POOLER, CHATHAM COUNTY, GEORGIA

FEBRUARY 2025

EMC ENGINEERING SERVICES, INC.
ENVIRONMENTAL- MARINE - CIVIL - SURVEY

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	STAKING PLAN
5	UTILITY PLAN
5A	FIRE PROTECTION PLAN
6	PAVING, GRADING & DRAINAGE PLAN
7	STORM DRAINAGE PROFILES
8	ESPC INITIAL PLAN
9	ESPC INTERMEDIATE PLAN
10	ESPC FINAL PLAN
11	ESPC NOTES
12	ESPC NOTES
13	LANDSCAPE PLAN
14	CONSTRUCTION DETAILS
15	CONSTRUCTION DETAILS
16	CONSTRUCTION DETAILS
17	CONSTRUCTION DETAILS
18	CONSTRUCTION DETAILS

UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

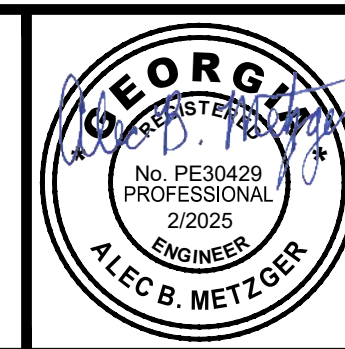


Know what's below.
Call before you dig.



CIVIL
MARINE
ENVIRONMENTAL

REVISION	DESCRIPTION	DATE
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-



EMC ENGINEERING SERVICES, INC.
27 CHATHAM CENTER SOUTH, SUITE A
SAVANNAH, GEORGIA 31405
PHONE: (912) 232-6533
FAX: (912) 233-4580
savannah@emc-eng.com
www.emc-eng.com

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SAVANNAH • STATESBORO • THOMASTON • VALDOSTA

GENERAL NOTES

- 1. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF POOLER SPECIFICATIONS.
3. PRIOR TO INSTALLATION OF ANY UTILITY LINES, THE CONTRACTOR SHALL GIVE THE UTILITY COMPANIES THREE (3) WORKING DAYS NOTICE...

PRECONSTRUCTION AND CLOSETOUT REQUIREMENTS:

- 1. ALL PROJECTS CONSTRUCTED WITHIN THE CITY LIMITS OF POOLER AND/OR CONNECTING TO THE CITY OF POOLER WATER AND SEWER SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF POOLER STANDARD SPECIFICATIONS.
2. ALL PROJECTS SHALL BE TIED TO AND SHALL BE COMPLETED ON THE NAVD 1988 VERTICAL DATUM AND THE NAD 83 STATE PLANE COORDINATES...

UTILITY NOTES

- 1. THE PIPES, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC.
2. ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPES SHALL BE REJECTED. ALL FOREIGN MATTER SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND IT SHALL BE KEPT CLEAN BY APPROVED MEANS...

SANITARY SEWER:

- 1. SANITARY MANHOLES SHALL NOT EXCEED 350-FOOT SPACING.
2. PIPE DIAMETER SHALL BE A MINIMUM OF 8 INCHES.
3. MINIMUM SIZE OF SANITARY LATERAL IS 4 INCHES.
4. LATERALS SHALL CONNECT DIRECTLY TO THE MANHOLE WHEN POSSIBLE, ENTERING AT AN ANGLE OF AT LEAST 90 DEGREES TO THE DIRECTION OF FLOW.

DRAINAGE NOTES:

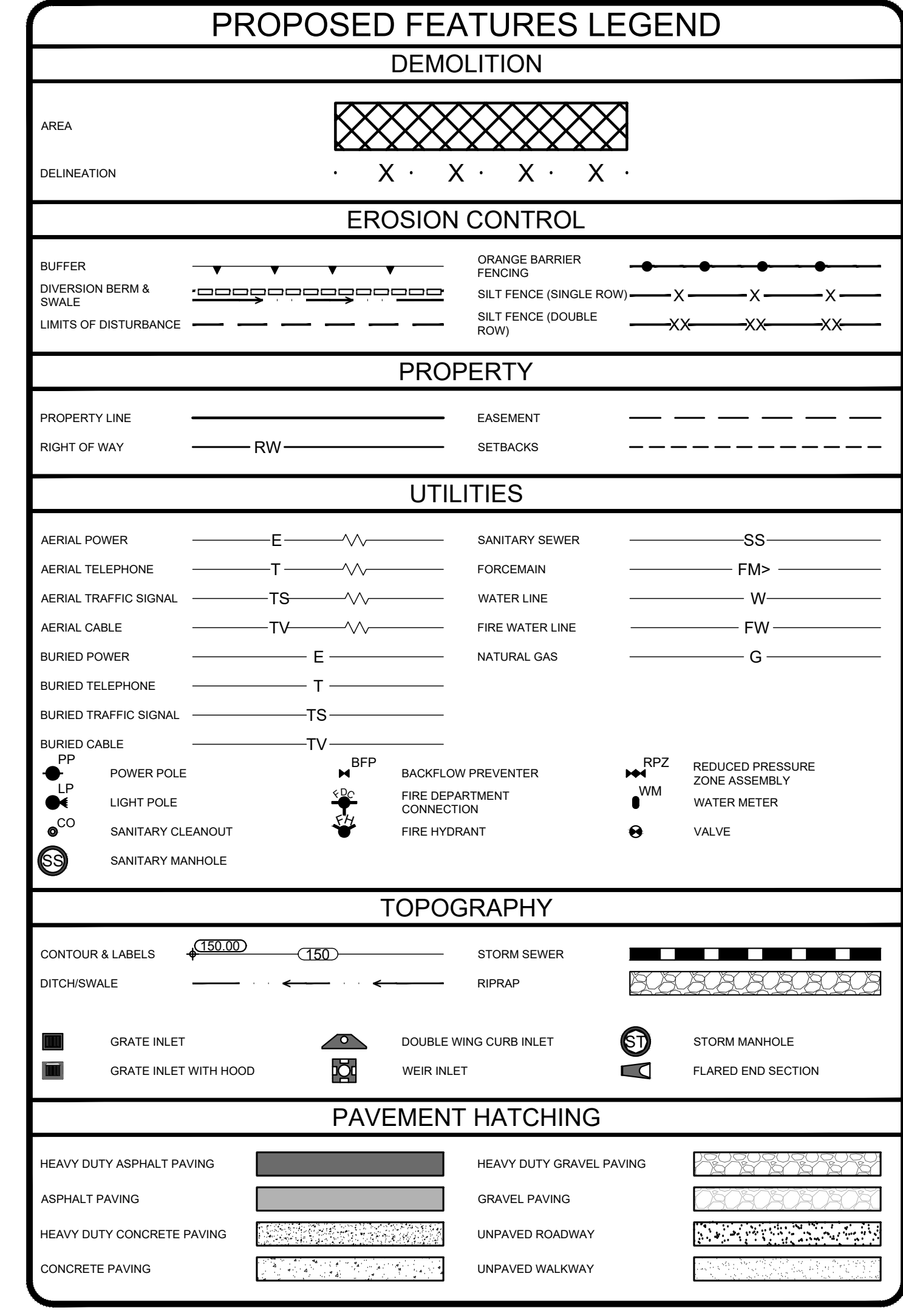
- 1. STORM DRAIN PIPE BENEATH CITY MAINTAINED STREETS SHALL BE A MINIMUM OF 18 INCHES IN DIAMETER AND SHALL BE RCP (CLASS III).
2. STORM SIDE-DRAIN UNDER DRIVEWAYS AND WALKWAYS SHALL BE 15 INCH MINIMUM. PLASTIC CULVERTS ARE ACCEPTABLE BUT SHALL HAVE CONCRETE HEADWALLS TO PROTECT THE PIPE ENDS.
3. LOT DRAINAGE SHALL BE FROM THE REAR TO THE FRONT OF LOTS; 0.5% GRADE MINIMUM. EXCEPTIONS WILL BE CONSIDERED.

Table with columns: NO., REVISION DESCRIPTION, DATE. Contains revision tracking information.



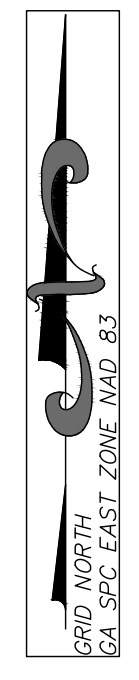
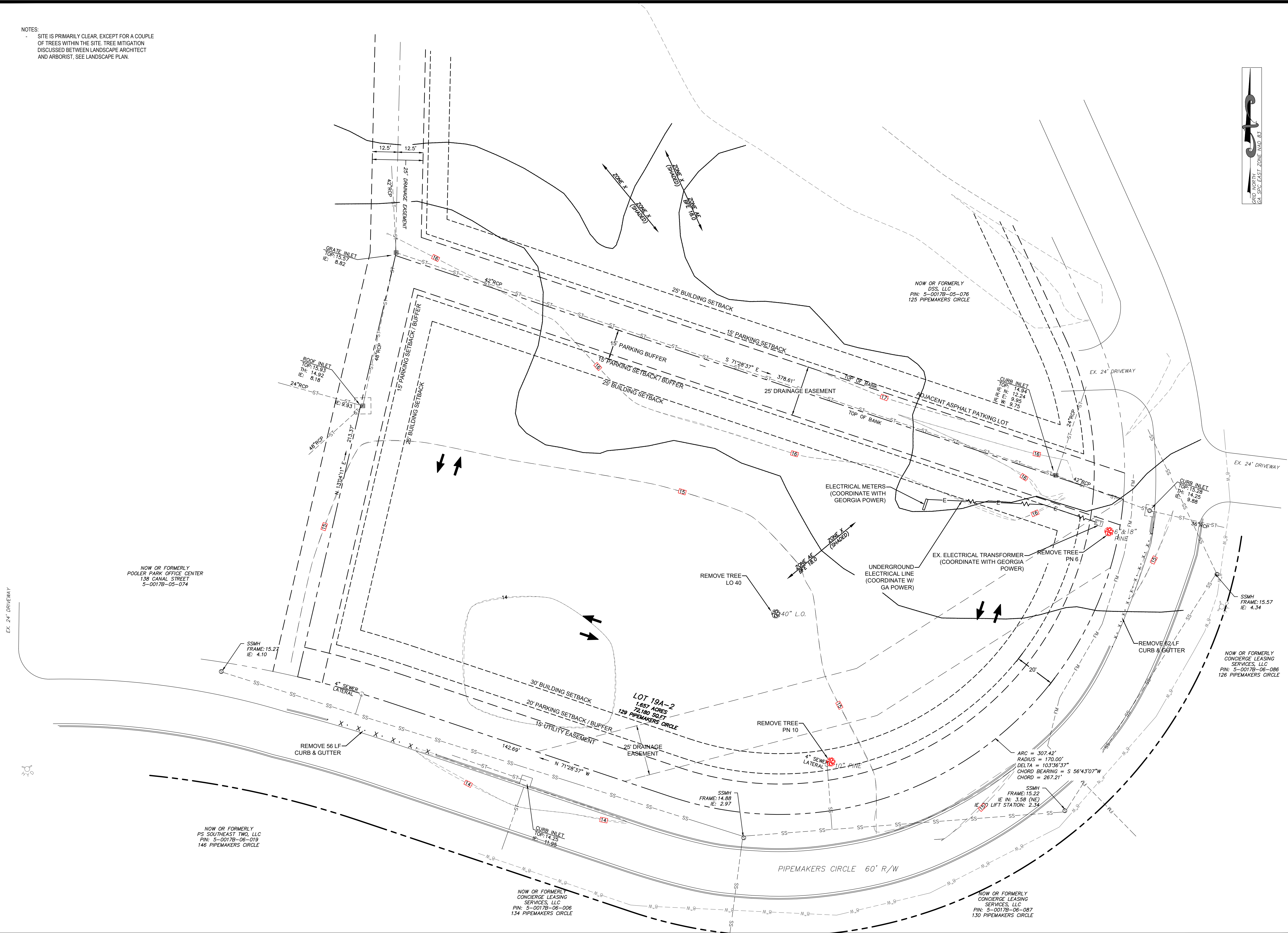
EMC ENGINEERING SERVICES, INC. 27 Chatham Center South, Suite A Savannah, GA 31405. Includes company logo and contact information.

GENERAL NOTES & LEGEND 129 PIPEMAKERS CIRCLE POOLER, CHATHAM COUNTY, GEORGIA. Prepared for: COMBAT VETERANS, LLC. Includes project details and sheet information.



0:1:2024, 14:00:56 129 PIPEMAKERS CIRCLE.DWG(124-0056-001).DWG 7/2/2025 1:55 PM

NOTES:
 - SITE IS PRIMARILY CLEAR, EXCEPT FOR A COUPLE OF TREES WITHIN THE SITE. TREE MITIGATION DISCUSSED BETWEEN LANDSCAPE ARCHITECT AND ARBORIST, SEE LANDSCAPE PLAN.



NO.	REVISION DESCRIPTION	DATE



GRAPHIC SCALE: 1" = 20'

EMC ENGINEERING SERVICES, INC.
 27 Chatham Center South, Suite A
 Savannah, GA 31405
 P: (912) 232-9550
 F: (912) 232-9550
 savannah@emc-eng.com
 www.emc-eng.com

CIVIL
 MARINE
 ENVIRONMENTAL

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EXISTING CONDITIONS & DEMOLITION PLAN

129 PIPEMAKERS CIRCLE
 129 PIPEMAKERS CIRCLE
 POOLER, CHATHAM COUNTY, GEORGIA

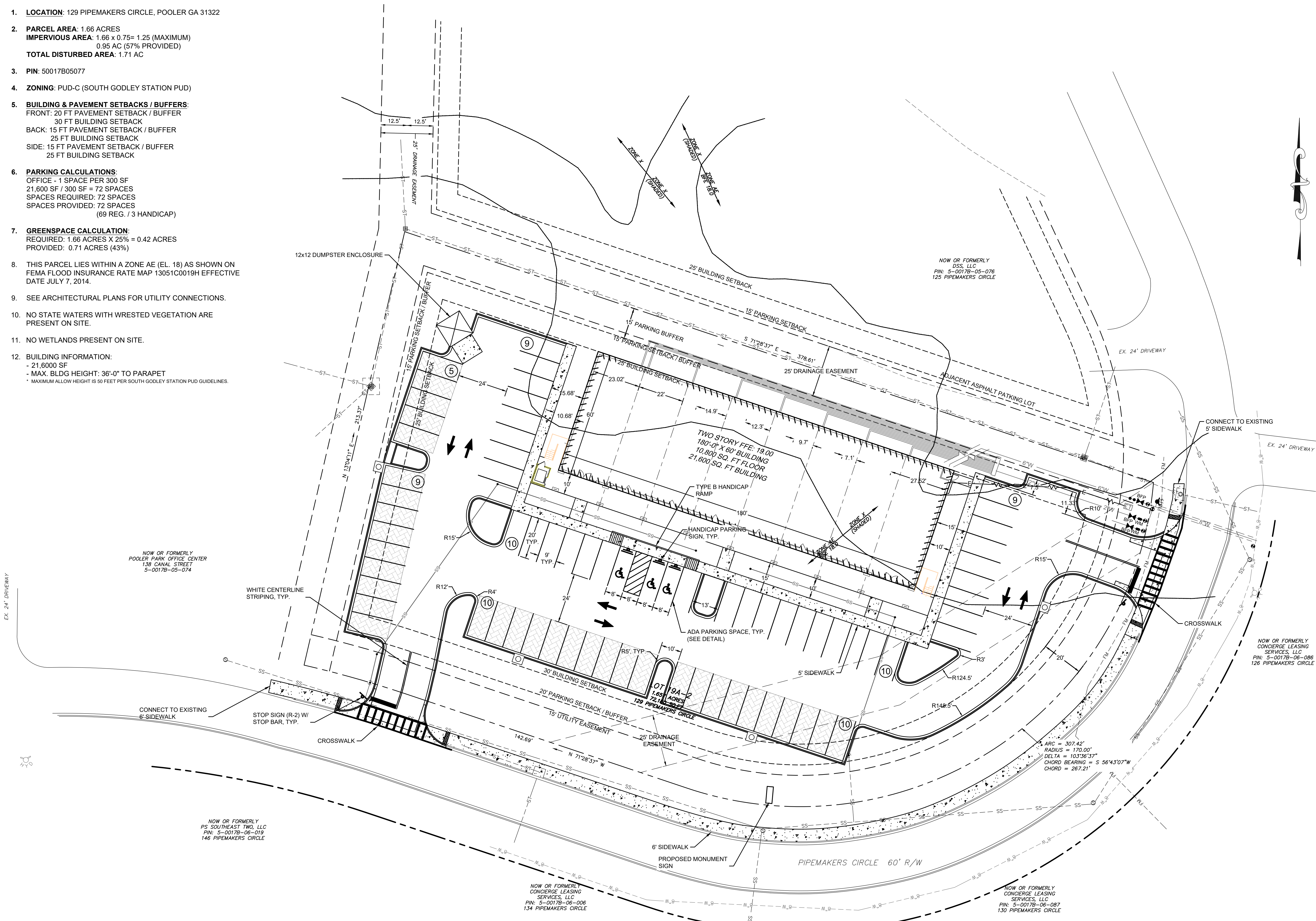
Prepared for:
COMBAT VETERANS, LLC

PROJECT NO.:	24-0056
DRAWN BY:	BMT
DESIGNED BY:	ABM
SURVEYED BY:	XXXX
SURVEY DATE:	AUG 2024
CHECKED BY:	ABM
SCALE:	1" = 20'
DATE:	10/18/2024

C:\2024\24-0056\129 PIPEMAKERS CIRCLE\DWG\24-0056-001.DWG 7/2/2025 1:55 PM

SITE DATA:

- LOCATION:** 129 PIPEMAKERS CIRCLE, POOLER GA 31322
- PARCEL AREA:** 1.66 ACRES
IMPERVIOUS AREA: 1.66 x 0.75= 1.25 (MAXIMUM)
TOTAL DISTURBED AREA: 1.71 AC
- PIN:** 50017B05077
- ZONING:** PUD-C (SOUTH GODLEY STATION PUD)
- BUILDING & PAVEMENT SETBACKS / BUFFERS:**
FRONT: 20 FT PAVEMENT SETBACK / BUFFER
 30 FT BUILDING SETBACK
BACK: 15 FT PAVEMENT SETBACK / BUFFER
 25 FT BUILDING SETBACK
SIDE: 15 FT PAVEMENT SETBACK / BUFFER
 25 FT BUILDING SETBACK
- PARKING CALCULATIONS:**
 OFFICE - 1 SPACE PER 300 SF
 21,600 SF / 300 SF = 72 SPACES
 SPACES REQUIRED: 72 SPACES
 SPACES PROVIDED: 72 SPACES
 (69 REG. / 3 HANDICAP)
- GREENSPACE CALCULATION:**
 REQUIRED: 1.66 ACRES X 25% = 0.42 ACRES
 PROVIDED: 0.71 ACRES (43%)
- THIS PARCEL LIES WITHIN A ZONE AE (EL. 18) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP 13051C0019H EFFECTIVE DATE JULY 7, 2014.
- SEE ARCHITECTURAL PLANS FOR UTILITY CONNECTIONS.
- NO STATE WATERS WITH WRESTED VEGETATION ARE PRESENT ON SITE.
- NO WETLANDS PRESENT ON SITE.
- BUILDING INFORMATION:**
 - 21,600 SF
 - MAX. BLDG HEIGHT: 36'-0" TO PARAPET
 * MAXIMUM ALLOW HEIGHT IS 50 FEET PER SOUTH GODLEY STATION PUD GUIDELINES.



NO.	REVISION DESCRIPTION	DATE

EMC ENGINEERING SERVICES, INC.
 27 Chatham Center South, Suite A
 Savannah, GA 31405
 Pin: (912) 232-5530
 savannah@emc-eng.com
 www.emc-eng.com

PROFESSIONAL ENGINEER
 No. PE30429
 2/2025
 LEG. B. METZGER

GRAPHIC SCALE: 1" = 20'

CIVIL MARINE ENVIRONMENTAL
 ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS
 GREENVILLE • SAVANNAH • STATESBORO • THOMASTON

STAKING PLAN
129 PIPEMAKERS CIRCLE
 129 PIPEMAKERS CIRCLE
 POOLER, CHATHAM COUNTY, GEORGIA
 Prepared for:
COMBAT VETERANS, LLC

PROJECT NO.:	24-0056
DRAWN BY:	WCS
DESIGNED BY:	WCS
SURVEYED BY:	BREWER
CHECKED BY:	ABM
SCALE:	1" = 20'
DATE:	2/2025

SHEET
4
 OF ##

C:\2024\24-0056 129 PIPEMAKERS CIRCLE.DWG 7/2/2025 1:55 PM

24x36 THIS DRAWING IS THE PROPERTY OF BARNARD ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF SAME. IT IS NOT TO BE USED ON ANY OTHER PROJECTS AND IS TO BE RETURNED ON REQUEST. SCALES STATED HEREON ARE VALID ON THE ORIGINAL DRAWING ONLY AND MAY BE CHANGED IN PROPORTION TO THE DIFFERENCE IN SIZE BETWEEN THE PRINT AND THE ORIGINAL. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT WITH ARCHITECT FOR CLARIFICATION



- 36' Top of The Parapet
- 33' Canopy Over Walkway 2n FL
- 32' Top of the Signage/ACT
- 26' Windows Head 2nd FL
- 20' Top of the Glass Railing
- 17' . . Band On the edge of walk way
- 16'-4" Top of Walk Way 2nd Floor
- 16' Top of ACT/
- 11'-6" Band Under Signage Wall
- 10' Windows Head
- 0' Ground Floor

Metal Rod holding the glass railing, no Pillars on the 2nd Floor.

Pillars Holding walkway

ELEVATION MATERIALS

EXTERIOR BUILDING MATERIALS WILL INCLUDE THE FOLLOWING:
 • BRICK MASONRY
 • EIFS STUCCO
 • ALUMINUM STOREFRONT & GLASS

FINAL PLACEMENT OF MATERIALS INCLUDING FINAL BUILDING ELEVATION DESIGN AESTHETIC TO BE DEVELOPED AND DETERMINED.

1" visible above the Windows Head
 Under the walkway when looking from a distance

BARNARD ARCHITECTS
 ARCHITECTURE, PLANNING, LANDSCAPE, INTERIORS, HISTORIC
 220 EAST HALL STREET, SAVANNAH, GA 31401 (912) 232 - 6173 www.BarnardArchitects.com
 ASSOCIATES: L. SCOTT BARNARD & ROBERT J. PORTMAN

ARCHITECT & ENGINEER SEAL

New Tenant Building
 Combat Veterans LLC
 129 Pipemakers Circle
 Pooler, Ga

Building Elevation (Example)

Project Status: SPR
 Date: 4.25.25
 Full Scale @ 24x36
 Half Scale @ 12x18

Revisions:
 Number Date

EL

Attachment B

CERTIFICATE OF APPROVAL

THE SOUTHERN PORTION OF GODLEY STATION ASSOCIATION, INC.

WE DO HEREBY CERTIFY that the undersigned members of the Board of Directors and the Architectural Review Board of the Southern Portion of Godley Station Association, Inc. (the "Association") do hereby adopt the following resolutions in full compliance with the By-Laws of the Association and the laws of the State of Georgia; and that the business contemplated by the resolutions is authorized by the said By-Laws; and that the resolutions are still of full force and effect and have not been amended or rescinded.

APPROVED by the Board of Directors and Architectural Review Board of the Association that the submission by Combat Veterans, LLC for Tract 129 Pipemakers Circle including all Signage is Approved in Pooler, Chatham County, GA. No other variances are requested, and no other submissions are required.

WE FURTHER CERTIFY that there is no provision in the Articles of Incorporation or By-Laws of the Association limiting the power of the Board of Directors and the Architectural Review Board to pass the foregoing resolutions, and that the same are in conformity with the provisions of said Articles of Incorporation and By-Laws.

Executed as of this 15th of August, 2025.



Jack B Wardlaw



August 28th, 2025

Alec B. Metzger, P.E.
EMC Engineering Services
27 Chatham Center South, Suite A
Savannah, GA 31405

Dear Mr. Metzger,

I am pleased to provide you with a recommendation for Approval of the site development plans submitted under the cover of 129 Pipemakers Circle (Application No. A25-0049), which is provided below.

<u>Submittal Documents:</u>	Site Development Plans.....	<i>Aug. 2025</i>
	ARB Approval Letter.....	<i>Aug. 2025</i>
	Stormwater Maintenance Agreement.....	<i>Aug. 2025</i>
	Flood Plain Mitigation Exhibit.....	<i>Aug. 2025</i>
	Technical Traffic Memorandum.....	<i>Aug. 2025</i>
	Lighting Plan.....	<i>Aug. 2025</i>
	Master Stormwater Report.....	<i>May 2025</i>
	Architectural Drawings.....	<i>May 2025</i>
	Drainage Exhibit.....	<i>May 2025</i>
	GSWCC Approval.....	<i>May 2025</i>
	Site Specific Stormwater Report.....	<i>Mar. 2025</i>
	Water Distribution Report.....	<i>Mar. 2025</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for ensuring that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.

Based on our thorough review, it is our professional opinion that the submitted plans are in substantial conformance with the City of Pooler’s applicable design standards, codes, and ordinances. Accordingly, we respectfully recommend Approval of the site development plans.



EOM Operations

Your solution to a better tomorrow

Attachment C

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Nicole Johnson; Director of Planning & Development – City of Pooler
Marcella Benson; City Planner- City of Pooler
Ryan Jarles; City Planner – City of Pooler
Rachael Brown; Zoning Administrator – City of Pooler
Liberto Chacon, PE; Sr. Vice President of Engineering – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

ORDINANCE O2025-09.A

Short-Term Rental Ordinance Revisions

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES CHAPTER 26 – BUSINESSES, ARTICLE VIII – SHORT-TERM RENTALS, SECTION 26-211- DEFINITIONS, SECTION 26-214- APPLICATION FOR SHORT-TERM RENTAL CERTIFICATE, SECTION 26-215- SHORT-TERM RENTAL AGENT, SECTION 26-216- GRANT OR DENIAL OF APPLICATION, SECTION 26-219- REQUIREMENTS; VIOLATIONS AND PENALTIES AND APPENDIX A-ZONING, ARTICLE III – GENERAL PROVISIONS, SECTION 32 – SHORT-TERM RENTALS TO PROVIDE REVISIONS RELATED TO SHORT-TERM RENTAL REQUIREMENTS AND TO COMPLY WITH STATE CODE CHANGES; TO REPEAL ALL ORDINANCES IN CONFLICT HEREWITH; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That CHAPTER 26 – BUSINESSES, ARTICLE VIII. SHORT-TERM RENTALS, SECTION 26-211 DEFINITIONS be amended by deleting the strikethrough language and adding the underlined text as follows:

Section 26-211. – Definitions.

Short-term rental. An accommodation where, in exchange for compensation, a residential dwelling unit, or a portion thereof, is provided for transient lodging. A short-term rental shall have a minimum one-night stay requirement with a maximum of ~~30~~ 27 consecutive days. Abbreviated as “STR”.

II

That CHAPTER 26 – BUSINESSES, ARTICLE VIII. SHORT-TERM RENTALS, SECTION 26-214 APPLICATION FOR SHORT-TERM RENTAL CERTIFICATE AND SECTION 26-215 SHORT-TERM RENTAL AGENT be amended by adding the underlined text as follows:

Section 26-214. – Application for short-term rental certificate.

- (a) Applicants for a short-term rental certificate shall submit annually an application for a short-term rental certificate to the City of Pooler. An applicant for a short-term rental certificate shall be the short-term rental owner. Any landlord that is not a resident of the state of Georgia that owns or operates single-family or duplex residential rental properties in the state of Georgia shall employ a broker licensed pursuant to the

O.C.G.A Chapter 40 of Title 43, that may or may not reside within the state of Georgia. If the broker does not reside within the state of Georgia, the broker shall employ at least one person, to be located within the state of Georgia, who shall be responsible for receiving, coordinating, managing and responding to communications from tenants of such landlord related to maintenance and other issues related to such properties. The application shall be furnished under oath on a form specified by the City, accompanied by the non-refundable application fee. Such application shall include, but is not limited to, the following:

- (1) through (8) no change
- (b) Attached to and concurrent with submission of the application, the applicant shall provide:
 - (1) The owner's notarized short-term rental application form.
 - (2) The owner's notarized code compliance affidavit form.
 - (3) A copy exemplar rental agreement, which shall consist of the form of documents to be executed between the short-term rental owner or agent and short-term rental guest(s), which shall contain the following provisions, and which shall be posted in the short-term rental:
 - a. The guest(s)' agreement to abide by all of the requirements of this article, any other City of Pooler ordinances, state, and federal law and acknowledge that his or her rights under the agreement may not be transferred or assigned to anyone else.
 - b. The guest(s)' acknowledgement that it shall be unlawful to allow or make any noise or sound that exceeds the limits set forth in the City's noise ordinance, Section 42-117.
 - c. The guest(s)' acknowledgement and agreement that violation of the agreement or this article may result in immediate termination of the agreement and eviction from the short-term rental by the owner or agent, as well as the potential liability of fines levied by the City.
 - d. The guest(s)' acknowledgement on the maximum occupancy of the short-term rental, and if available, the maximum number of vehicles allowed to be parked on the premises and location of on-site parking.
 - e. The guest(s)' acknowledgement and agreement that they have read and will abide by the standards of the Good Neighbor brochure.
 - (4) Proof of ownership of the short-term rental, and proof of residence as applicable. Any landlord that is not a resident of the state of Georgia that owns or operates single-family or duplex residential rental properties in the state of Georgia shall provide proof they employ a broker licensed pursuant to the O.C.G.A Chapter 40 of Title 43, that may or may not reside within the state of Georgia. If the broker does not reside within the state of Georgia, the broker shall provide proof they employ at least one person, to be located within the state of Georgia, who shall be responsible for receiving, coordinating, managing and responding to communications from tenants of such landlord related to maintenance and other issues related to such properties.
 - (5) through (8) no change

(C) no change

Section 26-215. – Short-term rental agent.

(a) The applicant for a short-term rental shall designate a short-term rental agent on the application for a short-term rental certificate. The owner of the short-term rental may serve as the short-term rental agent. Any landlord that is not a resident of the state of Georgia that owns or operates single-family or duplex residential rental properties in the state of Georgia shall employ a broker licensed pursuant to the O.C.G.A Chapter 40 of Title 43, that may or may not reside within the state of Georgia. If the broker does not reside within the state of Georgia, the broker shall employ at least one person, to be located within the state of Georgia, who shall be responsible for receiving, coordinating, managing and responding to communications from tenants of such landlord related to maintenance and other issues related to such properties.

(b) through (d) no change

III

That CHAPTER 26 – BUSINESSES, ARTICLE VIII. SHORT-TERM RENTALS, SECTION 26-216 GRANT OR DENIAL OF APPLICATION be amended by adding the underlined text as follows:

Section 26-216. – Grant or denial of application.

City staff will review all applications for compliance with the requirements of this Ordinance, and provided all conditions are met, a certificate will be issued no more than 60 days from the date of submittal. The City shall have no obligation to issue a certificate to an applicant unless all conditions of this Ordinance are met and the property complies with all applicable federal, state, or local law. Any false statements or information provided in the application for a short-term rental are grounds for revocation or suspension of the short-term rental certificate, and may result in the imposition of penalties, along with denial of future applications. Denials, suspensions, or revocations of short-term rental certificates shall be based on specific violations of this ordinance, supported by evidence, and subject to appeal to the Superior Court as provided herein.

IV

That CHAPTER 26 – BUSINESSES, ARTICLE VIII. SHORT-TERM RENTALS, SECTION 26-219 REQUIREMENTS; VIOLATIONS AND PENALTIES be amended by adding the underlined text as follows:

Section 26-219. – Requirements; violations and penalties.

(a) Through (k) no change

(l) A short-term rental may be inspected only if there is probable cause to believe there is or has been a violation or violations of this ordinance, and any such inspection shall comply with all applicable constitutional and legal protections, including but not limited to the 4th Amendment of the U.S. Constitution and Article I, Section I, Paragraph XIII of the Georgia Constitution. No inspection or enforcement action under this article shall be conducted in a manner that violates the 4th Amendment of the U.S. Constitution or Article I, Section I, Paragraph XIII of the Georgia Constitution. Except in cases of exigent circumstances or consent, entry into a short-term rental shall require a warrant issued by a court of competent jurisdiction upon a showing of probable cause.

- (m) Any violation cited for a short-term rental must be corrected and compliance demonstrated prior to being eligible to continue use as a short-term rental.
- (n) Violations of this article are subject to the following fines, which may not be waived or reduced, and may be combined with any other legal remedy available to the City:
 - (1) First violation: \$500
 - (2) Second violation within the preceding 12 months: \$750
 - (3) Third violation within the preceding 12 months: \$1000
- (o) The City shall maintain a file of each short-term rental, including a record of code violation charges, founded accusations, and convictions occurring at or relating to a short-term rental. When a short-term rental owner has accumulated three violations within a calendar year, the City shall temporarily suspend the certificate. The City will provide notice to the short-term rental owner of a hearing in front of City Council. Should the Council revoke the short-term rental certificate, no new short-term rental applications from the short-term rental owner for the subject premises will be accepted for a period of 12 consecutive months. A person aggrieved by the City's decision to revoke a short-term rental certificate may appeal the decision to the Superior Court.
- (p) Nothing in this section shall limit the City from enforcement of its code, state, or federal law by any other legal remedy available to the City. Nothing in this section shall be construed to limit or supplant the power of any City inspector, deputy, or other duly empowered officer under the City's ordinances, rules, and regulations and the authority granted under state law, as amended, to take necessary action, consistent with the law, to protect the public from property which constitutes a public nuisance or to abate a nuisance by any other lawful means of proceedings.

V

That APPENDIX A – ZONING, ARTICLE III. GENERAL PROVISIONS, SECTION 32. SHORT-TERM RENTALS be amended by deleting the strikethrough language and adding the underlined text as follows:

Section ~~323~~. – Short-~~t~~Term Rentals

- (A) Purpose.
- (B) Definitions.
 - (1) *Home-based Lodging*. A short-term rental whereby the whole unit is provided as accommodation for a fee. This definition includes both a primary and an accessory structure when the unit is a detached secondary dwelling.
 - (2) *Home-based Lodging, Hosted*. A short-term rental whereby a portion of the dwelling unit is provided as accommodation for a fee, as an accessory use to a residence, and where the owner of the property resides there.
 - (3) *Short-term rental*. An accommodation where, in exchange for compensation, a residential dwelling unit, or a portion thereof, is provided for transient lodging for a period of time not exceeding ~~30~~27 consecutive days. Abbreviated as "STR".
- (C) and (D) no change

VI

All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

VII

If any section, clause, sentence, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall in no way affect the validity of the remaining portions of this ordinance.

VIII

This ordinance shall be effective immediately upon its adoption by the Mayor and City Council of Pooler, Georgia.

FIRST READING: _____ day of _____, _____

SECOND READING: _____ day of _____, _____

ADOPTED: _____ day of _____, _____

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

ORDINANCE O2025-09.B

Planning & Zoning Commission and Site Plan Process Revisions

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES CHAPTER 62- PLANNING, ARTICLE II- PLANNING AND ZONING COMMISSION, SECTION 62-32- MEMBERSHIP; TERM; SELECTION CRITERIA; REMOVAL, AND SECTION 62-34- ORGANIZATION; PURPOSE; RULES; STAFF; FINANCES AND APPENDIX A - ZONING, ARTICLE V – PROCEDURES FOR ADMINISTRATION AND ENFORCEMENT, SECTION 8 – SITE PLAN APPROVAL, TO AMEND THE PLANNING AND ZONING COMMISSION MEETING SCHEDULE AND SITE PLAN APPROVAL PROCESS; TO REPEAL ALL ORDINANCES IN CONFLICT HEREWITH; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That CHAPTER 62- PLANNING, Article II- Planning and Zoning Commission, Section 62-32- Membership; term; selection criteria; removal, be amended by deleting the strikethrough language and adding the underlined text as follows:

Section 62-32. Membership; term; selection criteria; removal.

(a) *Membership.* The planning and zoning commission consists of seven regular members and one alternate member. The regular members shall be comprised of four city employees, three city residents.

The city employees appointed to the planning and zoning commission are: ~~city-planner~~ planning and development director, police department chief, fire department chief, and the department head of public works. The police department chief, fire department chief, and the department head of public works may nominate a designee, within their department, to serve in their place.

City resident regular and alternate members are to be approved by city council. City council may appoint city resident members upon application, on a form to be provided by the city, by any resident who is of voting age and maintained continuous residency within the Pooler city limits for the 12 months preceding the application.

(1) Through (3) No Change

(b) Through (e) No Change

II

That CHAPTER 62- PLANNING, Article II- Planning and Zoning Commission, Section 62-34- Organization; purpose; rules; staff; finances, be amended by deleting the strikethrough language and adding the underlined text as follows:

Section 62-34. Organization; purpose; rules; staff; finances.

(a) Organization. The chairperson of the planning and zoning commission is the director of planning and development. The chairperson may appoint a secretary, who may be an officer or employee of the city. Should the chairperson be unable to attend a meeting, or the position of director of planning and development is not filled, the city planner may serve as chairperson pro tem.

(1) All planning and zoning commission meetings shall comply with the requirements of O.C.G.A. § 50-14-1 et seq. (as amended), including without limitation all meetings being open to the public and minutes taken.

(2) The planning and zoning commission ~~should~~ shall hold ~~two~~ one meetings per month, with specific meetings dates and times to be set by the commission, provided the planning and zoning meeting is not held in the same calendar week (i.e. Sunday to Saturday) as a regular meeting of the city council.

(3) Any four members, of the planning and zoning commission constitute a quorum for any meeting, including the chairperson. The resident alternate will not be counted unless they are sitting in place of a resident regular member.

(4) Any item for consideration by the planning and zoning commission or proposed recommendation to the city council must be acted upon by voice vote and recorded in the minutes.

(5) Any item for consideration or proposed recommendation requires a minimum of three votes in favor of or against the proposed recommendation. The chairperson shall not cast a vote except in the event of a tie.

The planning and zoning commission shall follow all notice, meeting, and public meeting guidelines set forth in Appendix A, Article V, Section 6, of the Code of Ordinances for the City of Pooler.

(b) Through (d) No Change

III

That APPENDIX A- ZONING, Article V- Procedures For Administration And Enforcement, Section 8- Site plan approval, be amended by deleting the strikethrough language and adding the underlined text as follows:

Section 8. Site plan approval.

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

(A) *Process.* Upon submittal of the site plan, staff will review the site plan for noticeable discrepancies and determine if there is a need to apply for other zoning actions. The site plan is then forwarded to the applicable city departments for additional review and comment(s). Staff will then provide such comments to the applicant. The applicant is

responsible for addressing all comments from the city staff, after which it shall be submitted for review by the planning and zoning commission and then ~~the regularly-scheduled meeting of~~ final approval by the city council manager or their designee. Minor site plans may be reviewed and approved by city staff without the need for review and approval by the planning and zoning commission ~~and city council~~. The minor site plan review process shall not be used for new buildings or building additions. Minor site plans shall include only the following: any non-structural development or redevelopment involving less than 5,000 square feet of surface area and less than one-acre of land disturbing activities; any non-structural expansion of an existing use by up to 25 percent of the original approved site plan; any changes in site layout or design that do not involve wetlands or buffer alterations; but excludes any site changes that require a variance.

(B) Site plan approvals pursuant to this article are valid for a period of one year from the date of approval, after which the approval expires.

(C) If a person or entity submits a site plan more than one year following its approval to the building official for issuance of a building and/or land development permit, the site plan must be resubmitted for new approval, adhering to all applicable rules and provisions for new site plans, including fees assessed in accordance with section 3 of this article. The city shall not have a duty to retain site plans for which approval has expired except as may be required by state law.

(D) Revisions to an approved site plan shall be reviewed and approved in accordance with subsection (A) above. However, in instances where the revisions to an approved site plan are minor changes, the revised plans may be reviewed and approved by staff. It is solely in staff's discretion whether a minor site plan application process applies or if a project requires full site plan review.

(E) *Standards for site plan approval.* In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by the city council manager or their designee in approving any site plan:

- (1) Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- (2) Whether the site plan provides for adequate pedestrian and traffic access;
- (3) Whether the site-plan provides adequate space for off-street parking and loading/unloading zones where applicable;
- (4) Whether the site plan provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- (5) Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- (6) Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- (7) Whether the proposed development site is adequately served by other public services to account for current or projected needs;
- (8) Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;

(9) Whether the site plan provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-deterring buffer between adjacent properties; and

(10) Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws including without limitation the Code of Ordinances for the City of Pooler.

IV

All ordinances or parts of ordinances in conflict with the ordinance are hereby repealed.

V

If any section, clause, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall in no way affect the validity of the remaining portions of this ordinance.

VI

This ordinance shall be effective immediately upon its adoption by the Mayor and City Council of Pooler, Georgia.

FIRST READING: _____ day of _____, _____

SECOND READING: _____ day of _____, _____

ADOPTED: _____ day of _____, _____

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council