



CITY of POOLER
— GEORGIA —

PLANNING & ZONING COMMISSION MEETING - AGENDA

March 9, 2026, at 3:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. APPROVAL OF MINUTES
- IV. NEW BUSINESS
 - A. Zoning Map Amendment to remove the existing condition that was previously placed on the C-2 zoning approval of the property and allow for all permitted uses within the C-2 (Heavy Commercial) zoning district to be allowed at 1322 Quacco Road (Application # A26-0001)
 - B. Conditional Use request to allow for a Private School to be located at Rothwell Baptist Church in the R-1A (One-Family Residential) Zoning District at 216 E. Rothwell St (Application # A26-0023)
 - C. Variance request from the Godley Station - Southern Portion PUD Setback Standards to allow for a 10' reduction in the required 25' building setback, a 5'-2" reduction in the required 15' paving setback and buffer on the eastern side, a 5' reduction in the required 15' paving setback and buffer on the southwestern side, and a 5' reduction in the required 15' paving setback and buffer on the northwestern side in order to construct a retail building at 840 Towne Center Blvd (Application # A26-0030)
 - D. Zoning Map Amendment to rezone property from the R-A (Residential Agriculture) Zoning District to the R-3A (Multifamily Residential) Zoning District in order to construct a 303 multi-family development consisting of townhomes, single family detached and cluster style homes, all to be located on one property at 1400 Canal Bank (Application # A26-0036)
 - E. Site Development Plan Approval for a 123-Room Hotel and a Restaurant located at 200 Suri Avenue in the Savannah Quarters PUD, Phase 7 and Mosaic Town Center (Application # A25-0149)
 - F. Site Development Plan Approval for the Outpost Bay Subdivision Amenity Center at 161 Jetty Circle (Application # A25-0180)
- V. ADJOURNMENT

City of Pooler
Planning & Zoning Minutes
February 9, 2026

CALL TO ORDER:

Chair Johnson called the meeting to order at 3:00 p.m.
Chair Johnson led the Pledge of Allegiance.

Attendee Name	Title	Status
Nicole Johnson	Chair	Present
Shirlinia Daniel	Commissioner	Present
Brad Rife	Commissioner	Present
Jeremy Kelly	Alternate	Present
Scott Cribbs	Commissioner	Present
Josh Bivins	Commissioner	Present
Ashley Brown	Commissioner	Present
Pete Chaison	Commissioner	Absent
Ryan Jarles	City Planner	Present
Rachael Brown	Zoning Administrator/Secretary	Present
Marcy Benson	City Planner	Present

APPROVAL OF MINUTES

The minutes of January 12, 2026, Planning and Zoning Commission were reviewed and accepted.

Motion to Approve; PASSED (6-0-0)
MOVER: Rife
SECONDER: Cribbs
AYES: Rife, Cribbs, Kelly, Bivins, Rife, Brown
NAYS:

NEW BUSINESS:

A. Conditional Use request to allow for a Multi-Use Development, Self-Storage Facility, and an Assisted Living Facility for a 21-acre parcel at Merlot Lane and Cheval Lane (Application # A26-0002)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for a Conditional Use to for a Multi-Use Development, Self-Storage Facility, and an Assisted Living Facility for a 21-acre parcel at Merlot Lane and Cheval Lane. The development will consist of a self-storage facility, an assisted living facility, and multi-family residential units. Staff recommended approval of the application with conditions. David Hornsby was present to answer questions. Charles Archer expressed concerns about the Conditional Use request.

After review of the criteria, move for approval of the request with the following conditions:

1. *The site shall not have access from Pine Barren Road, other than any required for emergency access, except as part of any future curb cut on the extension of Cheval Lane.*
2. *The applicant shall work with the City in contributing to improvements for the Pine Barren and Pooler Parkway Intersection."*

Motion to Approve with Stipulations; PASSED (4-2-0)

MOVER: Rife

SECONDER: Kelly

AYES: Rife, Kelly, Cribbs, Bivins

NAYS: Brown, Daniel

B. Zoning Map Amendment to rezone six parcels from R-1-A (One-Family Residential) to R-4 (Townhouses and Condominiums) to allow for marketing the sale of the property at 328 Old Pine Barren Road (Application # A26-0004)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for a Zoning Map Amendment to rezone six parcels from R-1-A (One- Family Residential) to R-4 (Townhouses and Condominiums) to allow for marketing the sale of the property at 328 Old Pine Barren Road. Staff recommended denial of the application based on it not meeting the criteria required for a Zoning Map Amendment. Holly Young was present to answer questions.

Motion to Deny; PASSED (6-0-0)

MOVER: Kelly

SECONDER: Brown

AYES: Kelly, Brown, Cribbs, Bivins, Daniel, Rife

NAYS:

C. Zoning Map Amendment to remove the two existing zoning conditions that were previously placed on the I-1 zoning approval of the property and add five new zoning conditions to allow for the establishment of industrial warehouse buildings and a new access road at 200 Jesup Road (Application # A26-0009)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for a Zoning Map Amendment to remove the two existing zoning conditions that were previously placed on the I-1 zoning approval of the property and add five new zoning conditions to allow for the establishment of industrial warehouse buildings and a new access road at 200 Jesup Rd. Commissioner Rife recused himself from this item. Staff recommended approval of the application with the five conditions. Harold Yellin, Kevin Forbes and Adam Duerr were present to answer questions. Tina Box expressed concerns about the Zoning Map Amendment. After discussion, the commission made modifications to condition #2 and added a 6th condition.

After review of the criteria, move for Approval of the request with the conditions:

1. A Traffic Impact Analysis shall be conducted for the Hwy 80 intersection for use of Dublin Road as temporary construction access prior to site plan approval. Temporary construction access will be along Dublin Road and Jesup Road until the southern access road is complete.

2. *Once the new road is complete, there will no longer be truck access through Raymond Road, Dublin Road and Jesup Road.*

3. *Main access road will be constructed for public use on the south side of the property traversing through GPA's land via a road right of way access, with a connection at Cypress Meadow Dr. Emergency access to the property will be provided with a connection to Dublin Rd.*

4. *The applicant can proceed with obtaining site plan approval but cannot have a preconstruction meeting or conduct any site clearing or site work until the road has been permitted.*

5. *No Certificate of Occupancy will be issued for any building until the road construction has been completed.*

6. *Prior to project commencement, the City of Pooler shall require a pavement condition evaluation of Dublin Road, to assess current conditions. Prior to project closeout the City of Pooler shall require a pavement condition evaluation to assess any degradation attributable to construction related traffic. The evaluation shall be conducted by a qualified engineer in accordance with applicable industry standards. Designated representatives from the City of Pooler's Streets and Stormwater Departments shall have the opportunity to accompany the engineer during the evaluation. The Developer shall be solely responsible for all repairs or maintenance, as determined necessary by City staff, to restore the roadway to its pre-construction condition as a direct result of such traffic.*

Motion to Approve with Stipulations; PASSED (3-2-0)

MOVER: Cribbs

SECONDER: Bivins

AYES: Cribbs, Bivins, Brown

NAYS: Daniels, Kelly

D. Site Development Plan Approval for a Childcare Facility at 500 E. Marketplace Way (Application # A25-0003)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for Site Plan Approval for a Childcare Facility at 500 E Marketplace Way. Commissioner Rife returned to the dais. Staff recommended approval of the application. Laukik Patel was present to answer questions.

Motion to Approve; PASSED (6-0-0)

MOVER: Bivins

SECONDER: Rife

AYES: Bivins, Rife, Cribbs, Kelly, Daniel, Brown

NAYS:

E. Site Development Plan Approval for a Rail Line and Rail Yard at 186 Pine Barren Road (Application # A25-0127)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for Site Plan Approval for a Rail Line and Rail Yard at 186 Pine Barren Road. Commissioner Rife recused himself for this item. Staff recommended approval of the application with conditions. Lamar Mercer was present to answer questions.

After review of the criteria, move for approval of the request with the following conditions:

- 1. Prior to the issuance of any land-disturbing activity permit or the scheduling of a preconstruction meeting, the Applicant shall remit payment in the amount of \$88,050.00 to the City of Pooler Tree Fund, which the Applicant has elected as a mechanism for achieving compliance with the City's Tree Protection Requirements.*

- 2. The project's Erosion, Sedimentation, and Pollution Control (ES&PC) Plans must be approved by the Georgia Soil and Water Conservation Commission (GSWCC), with such approval documentation provided to and received by the City of Pooler before the project is scheduled for City Council consideration.*

Motion to Approve with Stipulations; PASSED (5-0-0)

MOVER: Cribbs

SECONDER: Bivins

AYES: Cribbs, Bivins, Kelly, Daniel, Brown

NAYS:

F. Major Subdivision Plan Approval for a 9-unit Single-Family Subdivision located on Canal Bank Road (Application # A25-0152)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for Site Plan Approval for 9 Lot Single Family Subdivision. Commissioner Rife returned to the dais. Staff recommended approval of the application with conditions. Scott Burns was present to answer questions.

After review of the criteria, move for approval of the request with the conditions that the following 3rd party permits and/or approvals shall be provided to and received by the City of Pooler prior to being scheduled for City Council consideration:

- 1. The Georgia Soil and Water Conservation Commission's (GSWCC) Approval of the project's Erosion, Sedimentation, and Pollution Control (ES&PC) Plans.*

- 2. The City of Savannah's Approval of the Encroachment Permit for the proposed work within the Right of Way.*

- 3. The US Army Corps of Engineers (USACE) verification of the Wetland Delineation Concurrence (DC) Request, which was submitted to the USACE for confirmation of the plan's wetland delineation.*

Motion to Approve with Stipulations; PASSED (6-0-0)

MOVER: Rife

SECONDER: Daniel

AYES: Cribbs, Bivins, Rife, Daniel, Kelly, Brown

NAYS:

G. Site Development Plan Approval for a one-story commercial building to establish a restaurant (The Chop House) at 200 Tanger Outlets Boulevard (Application # A25-0198)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for Site Plan Approval for a one-story commercial building to establish a restaurant (The Chop House) at 200 Tanger Outlets Boulevard. Staff recommended approval of the application. Wesley Green was present to answer questions.

Motion to Approve; PASSED (6-0-0)
MOVER: Bivins
SECONDER: Kelly
AYES: Bivins, Kelly, Cribbs, Daniel, Rife, Brown
NAYS:

H. Release of Performance Bond and Acceptance of Maintenance and Sidewalk Performance Bonds for Outpost Bay at 0 Jimmy Deloach Parkway (Application #A25-0066)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for Approval of the release of the performance bond in the amount of \$4,397,878.29 and acceptance of the maintenance bond in the amount of \$1,252,436.61 and the sidewalk performance bond in the amount of \$270,187.50 subject to City attorney approval. Staff recommended approval of the application. Meghan Flowers was present to answer questions.

Motion to Approve; PASSED (6-0-0)
MOVER: Cribbs
SECONDER: Rife
AYES: Cribbs, Rife, Kelly, Bivins, Daniel, Brown
NAYS:

I. Text Amendment to the Pooler Code of Ordinances Chapter 42- Environment, Article VI – Tree Protection, Division 1 – Tree Protection for Land Development Activities, Section 42, to amend provisions related to the Tree Fund.

Chair Johnson explained to the board what is being proposed with the text amendment.

Motion to Approve; PASSED (6-0-0)
MOVER: Brown
SECONDER: Daniel
AYES: Brown, Daniel, Cribbs, Bivins, Kelly, Rife
NAYS:

Adjournment

There being no further business, Chair Johnson asked for a motion to adjourn at approximately 4:03p.m.

Motion to Adjourn; PASSED (6-0-0)

MOVER: Brown

SECONDER: Daniel

AYES: Brown, Daniel, Cribbs, Bivins, Kelly, Rife

NAYS:

The foregoing minutes are true and correct and approved by me on this ____ day of _____ 2026.

Rachael Brown, Zoning Administrator



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Zoning Map Amendment to remove the existing condition that was previously placed on the C-2 zoning approval of the property and allow for all permitted uses within the C-2 (Heavy Commercial) zoning district to be allowed at 1322 Quacco Road.

Project:	#A26-0001
P&Z Meeting Date:	March 9, 2026
Public Hearing Date:	April 6, 2026
Applicant and Authorized Agent:	DJ Desai
Property Owner:	DTC Solutions LLC – DJ Desai
Parcel (PIN):	51009 04016
Existing Zoning:	Conditional C-2 (Heavy Commercial)
Zoning Action:	Map Amendment
Request:	Zoning Map Amendment to remove the existing condition that was previously placed on the C-2 zoning approval of the property and allow for all permitted uses within the C-2 (Heavy Commercial) zoning district to be allowed at 1322 Quacco Road.
Application Filed:	February 18, 2026
Legal Notice Published:	March 1, 2026
Sign Posted:	March 4, 2026
Letters Mailed:	February 26, 2026 (Additional letters mailed March 4, 2025)
Staff Recommendation:	Approval of the request with the condition that the Use be limited to a Building Construction Contractor’s Office, Other Specialty Contractor’s Office, and Landscaping Business.

Planning & Zoning Commission:

[TBD]

Recommended Motion:

"After review of the criteria, move for approval of the request with the condition that the Use be limited to a Building Construction Contractor's Office, Other Specialty Contractor's Office, and Landscaping Business."

Background:

At the City Council meeting on October 19, 2020, a Zoning Map Amendment was proposed to rezone the subject parcel from R-A to C-2. The petitioner aimed to recombine four parcels to construct flex office space and/or professional office space. Concerns raised by the Planning and Zoning Commission included access to water and sewer services, as well as available water flow for fire suppression. The request was ultimately approved with the following conditions:

1. Use limited to a Building Construction Contractor's Office or Other Specialty Contractor's Office.
2. An additional dedication of 30 feet of right-of-way to the City for the future widening of Quacco Road.
3. Documentation of sufficient water, sewer, and fire suppression from utilities prior to development.

The parcels have since been recombined into the subject parcel located at 1322 Quacco Rd. The applicant informed staff that he had parties interested in using the property as a Contractor's Office, which is permitted under the existing zoning conditions. Additionally, the site is currently being utilized by a landscape company, which is permitted within the C-2 zoning district; however, this use is distinct from a Building Contractor's Office or other Specialty Contractor's Office in the City's Land Use Table. If the existing C-2 zoning conditions remain, the current proposed use would not be allowed.

The applicant informed staff during the review of this application that the current landscaping company has been operating at this location for approximately 18 months. However, there have been no active business licenses associated with the property during that period. A business license was applied for on December 15, 2025, for the landscaping company; however, it was denied by the Zoning Administrator after a review, as it did not comply with the permitted uses outlined in the conditional C-2 zoning district. Staff was not aware that the landscaping business had commenced operations on the site until the applicant disclosed this information during the review of the current rezoning request; there have been no utility accounts opened for the subject property.

Staff finds that the landscaping business would be an appropriate use on the site, as the adjacent use is of a similar nature (Phillips Paving). Since the application was received, Staff has been working

with the applicant and agrees on keeping the existing condition regarding the uses allowed and adding to the condition that a Landscaping Business be added to the permitted uses. The large size of the site would provide ample space for the equipment, fleet vehicles and storage that coincides with the proposed uses.

Relevant Ordinances:

App. A, Art. IV, Sec. 19. C-2 Heavy Commercial District
App. A, Art. IV, Table 4.1 Allowed Uses by Zoning District

Zoning Action Standards:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
 - *The request would not alter the underlying C-2 zoning district; however, permitting all uses allowed within the C-2 zoning district would not logically improve the existing pattern of uses in the area. The surrounding area is primarily zoned R-A (Residential Agriculture), with two adjacent parcels to the north also zoned C-2, which are utilized by Phillips Paving and include mobile residential homes at the front. Allowing all uses permitted within the C-2 zoning district next to residential properties would significantly impact those properties; however, Since the application was received, Staff has been working with the applicant and agrees on keeping the existing condition regarding the uses allowed and adding to the condition that a Landscaping Business be added to the permitted uses, as this use would be appropriate in relation to the surrounding uses.*
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - *The proposed zoning amendment is not considered spot zoning, as the underlying zoning is already C-2 (Heavy Commercial). However, the requested amendment would change the types of uses permitted on the site, which would be significantly unrelated to the existing pattern of development in the area. Since the application was received, Staff has been working with the applicant and agrees on keeping the existing condition regarding the uses allowed and adding to the condition that a Landscaping Business be added to the permitted uses, as this use would be appropriate in relation to the surrounding uses.*
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?

- *No, Quacco Road is currently a heavily trafficked road with a mix of uses, although the parcels along this portion of Quacco Road are primarily residential. Allowing more intense commercial uses in this area could lead to increased traffic on an already congested roadway.*
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - *The site is designated as Residential on the Future Land Use Map and falls within the Residential Homestead Character Area in the Comprehensive Plan. While it is currently zoned C-2 (Heavy Commercial), the existing limitation to a Building Contractor's Office or Other Specialty Contractor's Office helps minimize the visual and physical impact on the surrounding residential agricultural area. Allowing more intensive uses could result in irreversible effects on the area.*
 5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
 - *There is an imminent need on the part of the property owner to amend the zoning conditions because the property is currently used by a landscaping company, which is a separate and defined use from a Building Contractor's Office or Other Specialty Contractor's Office. The existing use would not be permitted if the current conditions of the C-2 zoning district remain. Since the application was received, Staff has been working with the applicant and agrees on keeping the existing condition regarding the uses allowed and adding to the condition that a Landscaping Business be added to the permitted uses, as this use would be appropriate in relation to the surrounding uses.*
 6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
 - *Yes, the proposed amendment would allow all uses permitted within the C-2 zoning district at the subject site. This could conflict with existing density patterns in the area, as most surrounding properties are zoned and utilized for single-family residential purposes, with the exception of the adjacent Phillips Paving property; however, Since the application was received, Staff has been working with the applicant and agrees on keeping the existing condition regarding the uses allowed and adding to the condition that a Landscaping Business be added to the permitted uses, as this use would be appropriate in relation to the surrounding uses.*

7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
- *Yes, it is possible that additional requests similar to the current one could arise, as most adjacent land uses fall within the R-A zoning district and are primarily developed as single-family homes on large lots. The amendment to the C-2 zoning district could enhance marketability, potentially leading to further requests of a similar nature from neighboring property owners.*
8. Will the action adversely impact adjacent or nearby properties in terms of:
- Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *The introduction of the permitted uses of the C-2 zoning classification would likely lead to a significant increase in traffic, light, and noise, which would be incompatible with the established development pattern along this portion of Quacco Road.*
 - Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - *Yes, the request could negatively impact nearby properties zoned R-A by affecting their property values and marketability as residential properties. If the amendment is approved as requested, it would allow for all permitted uses in the C-2 district, which would be incompatible with the development pattern of this portion of Quacco Road; however, since the application was received, Staff has been working with the applicant and agrees on keeping the existing condition regarding the uses allowed and adding to the condition that a Landscaping Business be added to the permitted uses, as this use would be appropriate in relation to the surrounding uses.*
 - Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
 - *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any*

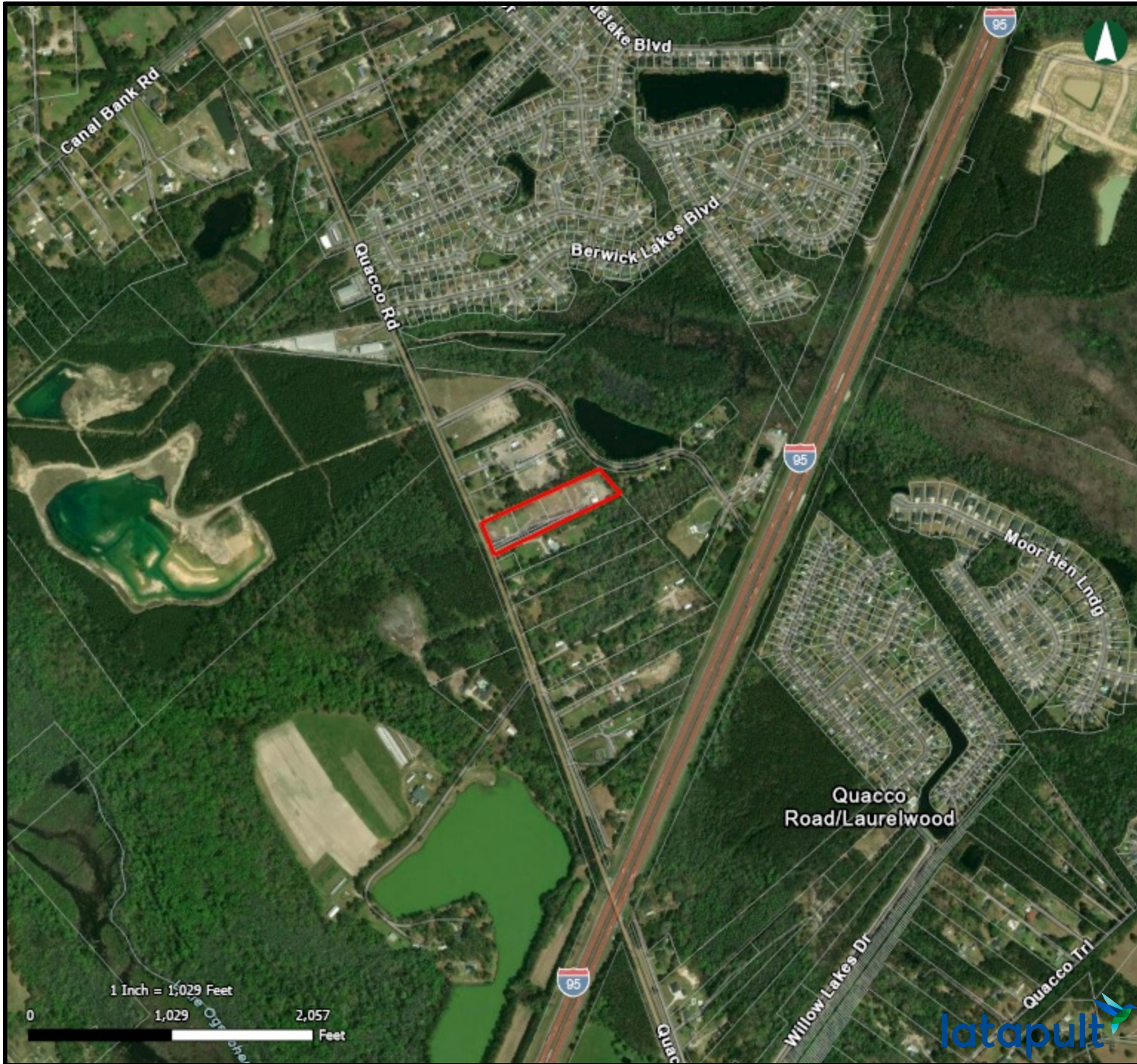
future site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.

9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this rezoning would be the responsibility of the property owner and would not place a burden on the City.*

Conclusion: Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends approval of the request with the condition that the Use be limited to a Building Construction Contractor’s Office, Other Specialty Contractor’s Office, and Landscaping Business.

- Attachments:
- A. Vicinity Map
 - B. Zoning Map
 - C. Submittal Documentation
 - D. Site Photos



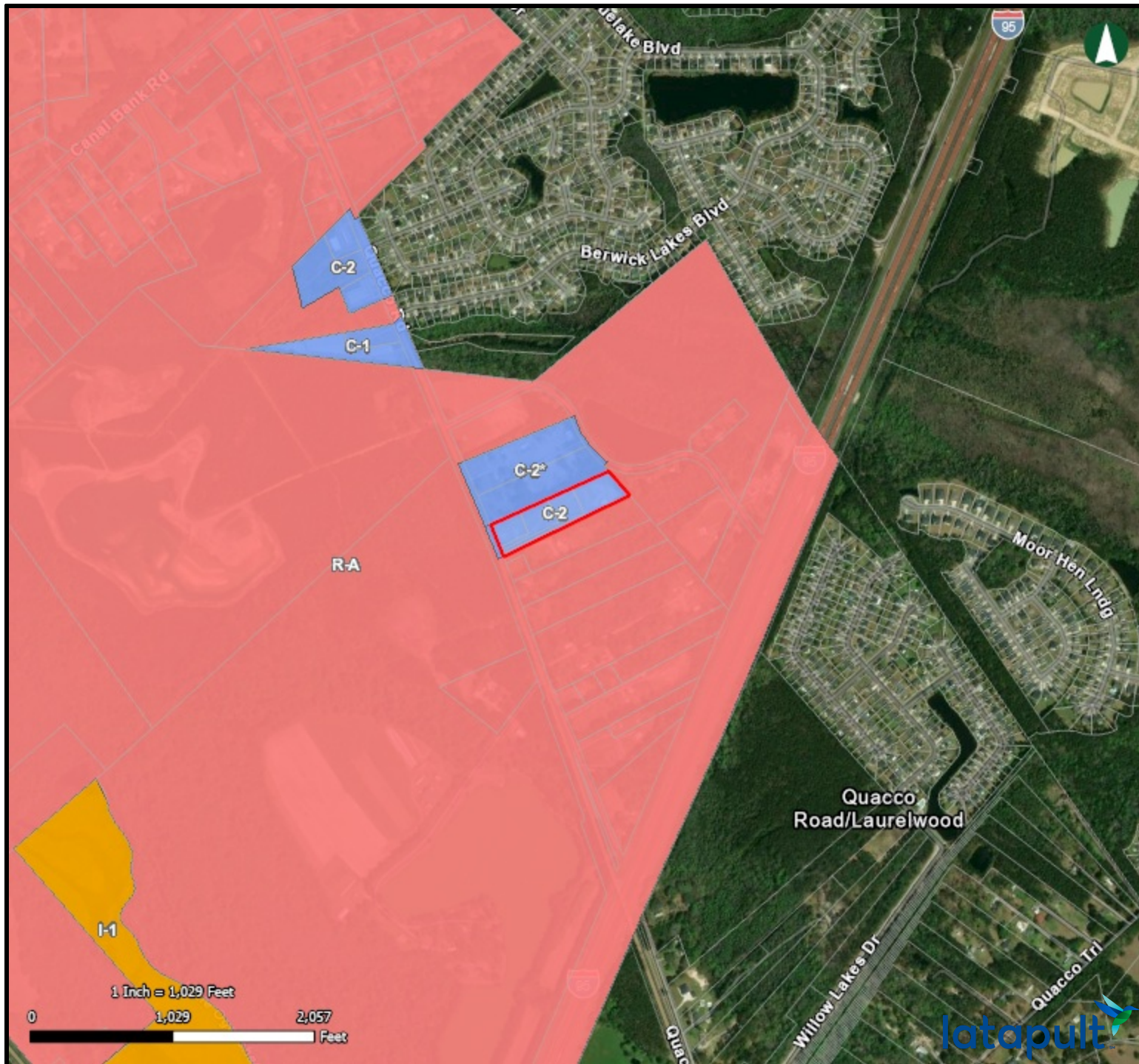
CITY of POOLER
— GEORGIA —

Vicinity Map - 1322 Quacco Rd. - Zoning Map Amendment

03/03/2026

Parcels





CITY of POOLER
— GEORGIA —

Zoning Map - 1322 Quacco Rd. - Zoning Map Amendment

03/03/2026

- Parcels
- Business/Commercial
- Industrial
- PUD
- Residential



Type: PLAT
Recorded: 6/28/2024 11:08:00 AM
Fee Amt: \$10.00 Page 1 of 1
Chatham, Ga. Clerk Superior Court
Tammie Mosley Clerk Superior Court
Participant ID: 6004554748
BK 54 PG 396

RESERVED FOR THE CLERK OF THE COURT

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

APPROVED BY THE MAYOR AND ALDERMAN FOR THE CITY OF POOLER
MAYOR: *Jason S. Williams* DATED: 6-26-24
CLERK OF COUNCIL: *[Signature]* DATED: 6/21/24

ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USES INTENDED.

OWNER: *Jason Crider* DATED: [blank]
OWNER (PRINT NAME): Jason Crider

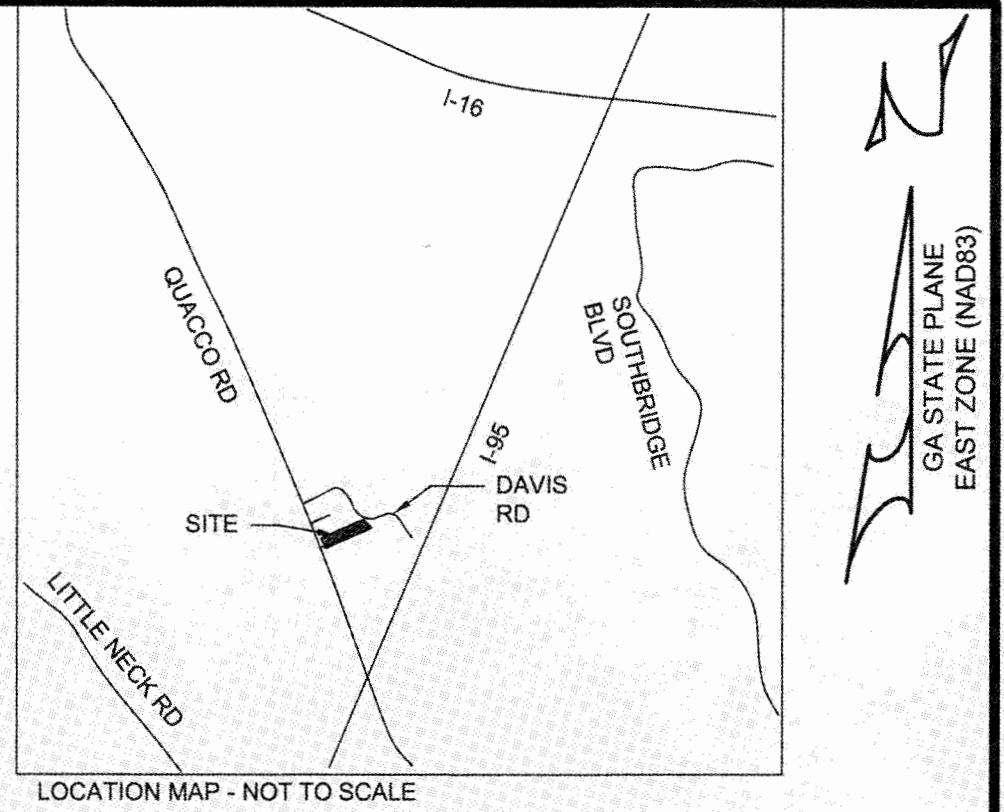
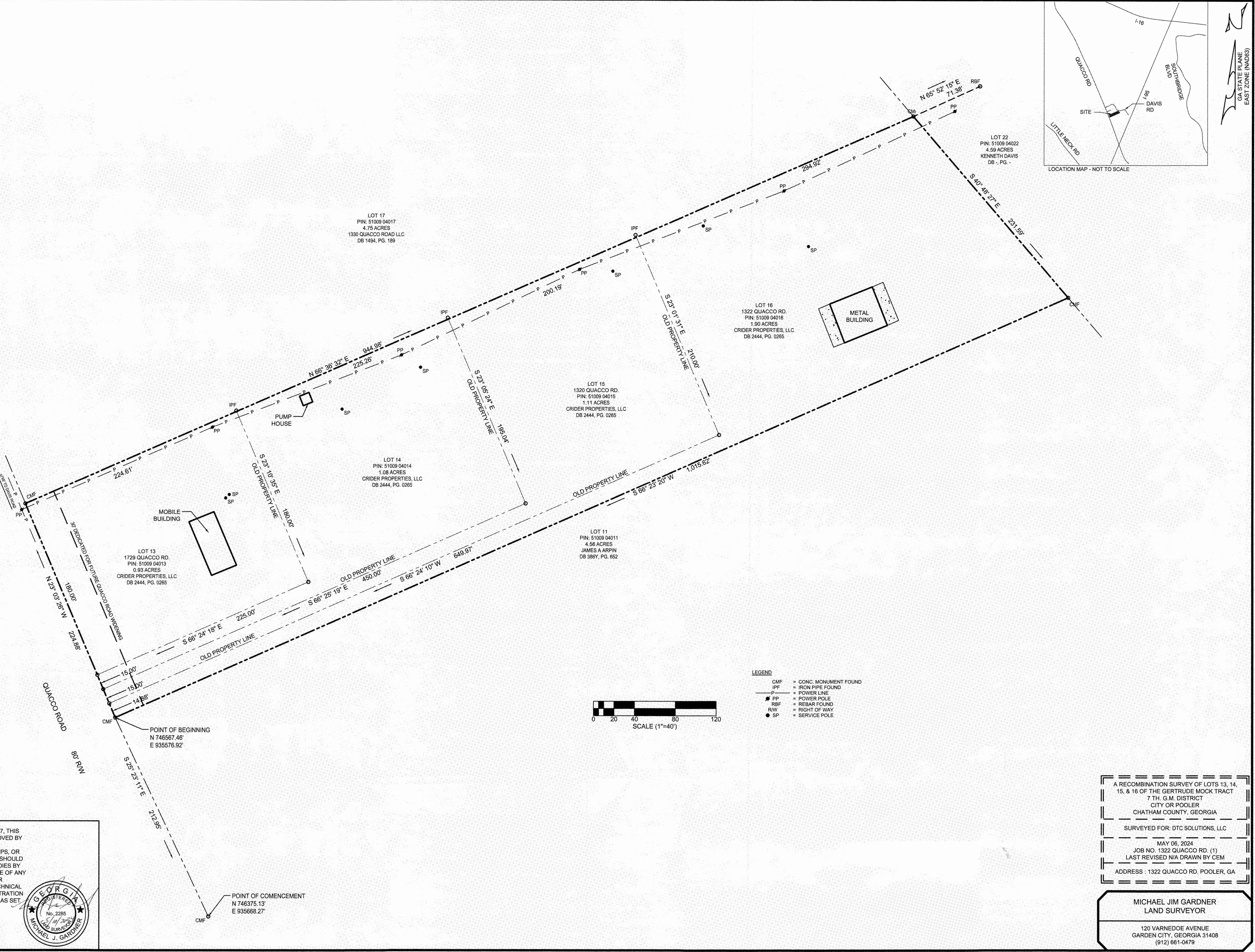
FLOOD DATA
ACCORDING TO F.I.R.M. MAP NO. 13051C0117G, REVISED 08/16/2018, THIS PROPERTY SHOWN HEREON DOES NOT LIE IN A FLOOD ZONE.

ERROR OF CLOSURE
FIELD: 132.483
ANGLE ERROR: 2" PER ANGLE POINT ADJUSTED BY OBSERVATION.
PLAT: 1/1NF
EQUIPMENT: TOPCON GTS236W
TOTAL STATION: SINGLE PRISM
DATE OF SURVEY: 04/12/2024
DATE OF PLAT: 05/06/2024

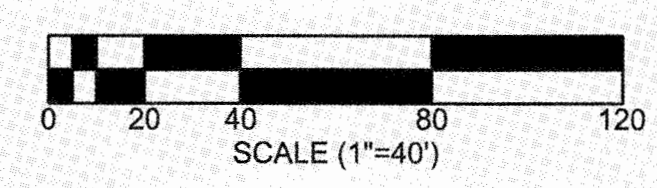
SURVEYORS CERTIFICATION
AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS REGISTRATION FOR PROFESSIONAL ENGINEERS NO LANE SURVEYOR BOARD AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



Michael J. Gardner
MICHAEL JIM GARDNER
GEORGIA REGISTERED LAND SURVEYOR NO. 2285
DATED: 5/10/2024



- LEGEND**
- CMF = CONC. MONUMENT FOUND
 - IPF = IRON PIPE FOUND
 - P = POWER LINE
 - PP = POWER POLE
 - RBF = REBAR FOUND
 - R/W = RIGHT OF WAY
 - SP = SERVICE POLE



A RECOMBINATION SURVEY OF LOTS 13, 14, 15, & 16 OF THE GERTRUDE MOCK TRACT
7 TH. G.M. DISTRICT
CITY OF POOLER
CHATHAM COUNTY, GEORGIA
SURVEYED FOR: DTC SOLUTIONS, LLC
MAY 06, 2024
JOB NO. 1322 QUACCO RD. (1)
LAST REVISED N/A DRAWN BY CEM
ADDRESS : 1322 QUACCO RD. POOLER, GA

MICHAEL JIM GARDNER
LAND SURVEYOR
120 VARNEDO AVENUE
GARDEN CITY, GEORGIA 31408
(912) 661-0479

1/8/26

To: City of Pooler

RE: Support for Rezoning Application

Dear Pooler Staff and Members of the Board,

I am writing as a property owner in Pooler and an adjacent neighbor to 1322 Quacco Road property. I wanted to share my support to allow 1322 Quacco Road to be used as a contractors office with contractor yard. I supported the rezoning in 2020 from Residential to Commercial and at that time the intent was to allow contractors office with all of the ancillary uses that come along with contractors use.

I encourage the Board to approve this application as it represents a responsible and beneficial use of the land as was the original intent and how the property has been utilized for the past 5 years. .

Sincerely,



- Jimmy Arpin - 02/01/26
912-547-4803

1/8/26

To: City of Pooler

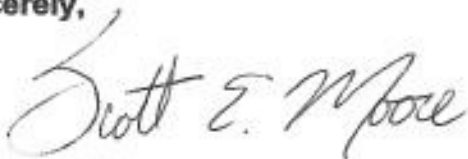
RE: Support for Rezoning Application

Dear Pooler Staff and Members of the Board,

I am writing as a property owner in Pooler and an adjacent neighbor to 1322 Quacco Road property. I wanted to share my support to allow 1322 Quacco Road to be used as a contractors office with contractor yard. I supported the rezoning in 2020 from Residential to Commercial and at that time the intent was to allow contractors office with all of the ancillary uses that come along with contractors use.

I encourage the Board to approve this application as it represents a responsible and beneficial use of the land as was the original intent and how the property has been utilized for the past 5 years. .

Sincerely,



PRESIDENT

SCWC ENTERPRISES, INC. d/b/a PHILLIPS PAVING Co.

Attachment D

1322 Quacco Road – Zoning Map Amendment

Site Photo





CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use request to allow for a Private School at the Rothwell Baptist Church in the R-1A (One-Family Residential) Zoning District at 216 E. Rothwell St.

Project:	#A26-0023
P&Z Meeting Date:	March 9, 2026
Public Hearing Date:	April 6, 2026
Applicant and Authorized Agent:	Micah Ellington - Rothwell Street Baptist Church
Property Owner:	Rothwell Street Baptist Church
Location (Address):	216 E. Rothwell St.
Parcel (PIN):	50006 12023
Existing Zoning:	R-1A (One-Family Residential)
<hr/>	
Zoning Action:	Conditional Use
Request:	Conditional Use request to allow for a Private School at the Rothwell Baptist Church in the R-1A (One-Family Residential) Zoning District at 216 E. Rothwell St.
<hr/>	
Application Filed:	February 5, 2026
Legal Notice Published:	March 1, 2026
Sign Posted:	March 4, 2026
Letters Mailed:	February 28, 2026
<hr/>	
Staff Recommendation:	Approval
<i>Planning & Zoning Commission:</i>	<i>TBD</i>

Recommended Motion:

"After review of the criteria, move for approval of the request.

Background:

Rothwell Street Baptist Church has been located at 216 E. Rothwell St. since before the current zoning classifications and code of the City of Pooler were established. While churches are now categorized as a Conditional Use within the R-1A zoning district, this requirement does not impact the existing church.

The church is proposing to establish a private school within its existing structure, necessitating no new development on the site. According to the application materials, the proposed school will serve pre-K through fifth grade, operating from 6:30 AM to 6:00 PM to accommodate pre and after-care programs.

The application includes a site plan demonstrating that all required parking spaces will be provided and that the designated pick-up and drop-off locations are appropriately sized for the site and the anticipated enrollment of 117 students.

In December of 2025, Rothwell Street Baptist Church received approval of a recombination plat, which altered the size of the parcel now making it approximately 5.58-acres. Additionally, the church owns two other parcels adding approximately 0.67-acres to the site.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

App. A, Art. IV, Sec. 4 – Conditional Uses

App. A, Art. V, Sec. 7 – Standards for Conditional Use Permission

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.

- *The proposed use would align with the existing civic function of the site as a place of worship. Furthermore, there is an existing school located within 2,000 feet of the subject site, which will help maintain a cohesive blend of residential and educational uses within the neighborhood.*

2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.

- *The proposed use would not be detrimental to adjacent properties or the surrounding area. Although the school is located within a residential neighborhood, the*

applicant has outlined the hours of operation and pick-up and drop-off procedures, which will result in minimal impact on the neighborhood. The site is spacious and offers ample on-site pick-up and drop-off space, preventing vehicles from obstructing the residential roadways.

3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use of the school is unlikely to constitute a nuisance or hazard due to the manageable number of students, with an anticipated enrollment of 117 students. The applicant has provided detailed plans for vehicular movement, including designated pick-up and drop-off areas that are designed to minimize congestion and ensure smooth traffic flow, thereby reducing the potential for disruption in the residential neighborhood. Additionally, the school's proposed operational hours of 6:30 AM to 6:00 PM, including the after-care program, are structured to mitigate any noise concerns during early morning and evening hours. Given the existing church setting and the nature of the educational activities, the level of noise generated is expected to be minimal and appropriate for a residential area.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed school is unlikely to be adversely affected by the existing uses of adjacent properties, as it is situated within a residential neighborhood that Rothwell Street Baptist Church has operated successfully in for many years. The presence of an existing school within 2,000 feet demonstrates that the area can accommodate educational facilities without issue. Additionally, the spacious site allows for adequate on-site operations, ensuring effective functionality without interference from neighboring residential properties. Overall, the proposed school aligns well with the surrounding area and should coexist harmoniously with existing uses.*
5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The subject site, being multiple parcels equaling approximately 6.25-acres, is of sufficient size to satisfy all the site requirements for the proposed use.*

6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed concept plan appears to meet the various development requirements for the school, including adequate parking and designated pick-up and drop-off locations.*
7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion: The request complies with all criteria for a conditional use. As such, Staff recommends **approval** of the request.

- Attachments:
- A. Vicinity Map
 - B. Submittal Documentation
 - C. Site Photos



CITY of POOLER
— GEORGIA —

Vicinity Map - 216 E. Rothwell St. - Conditional Use

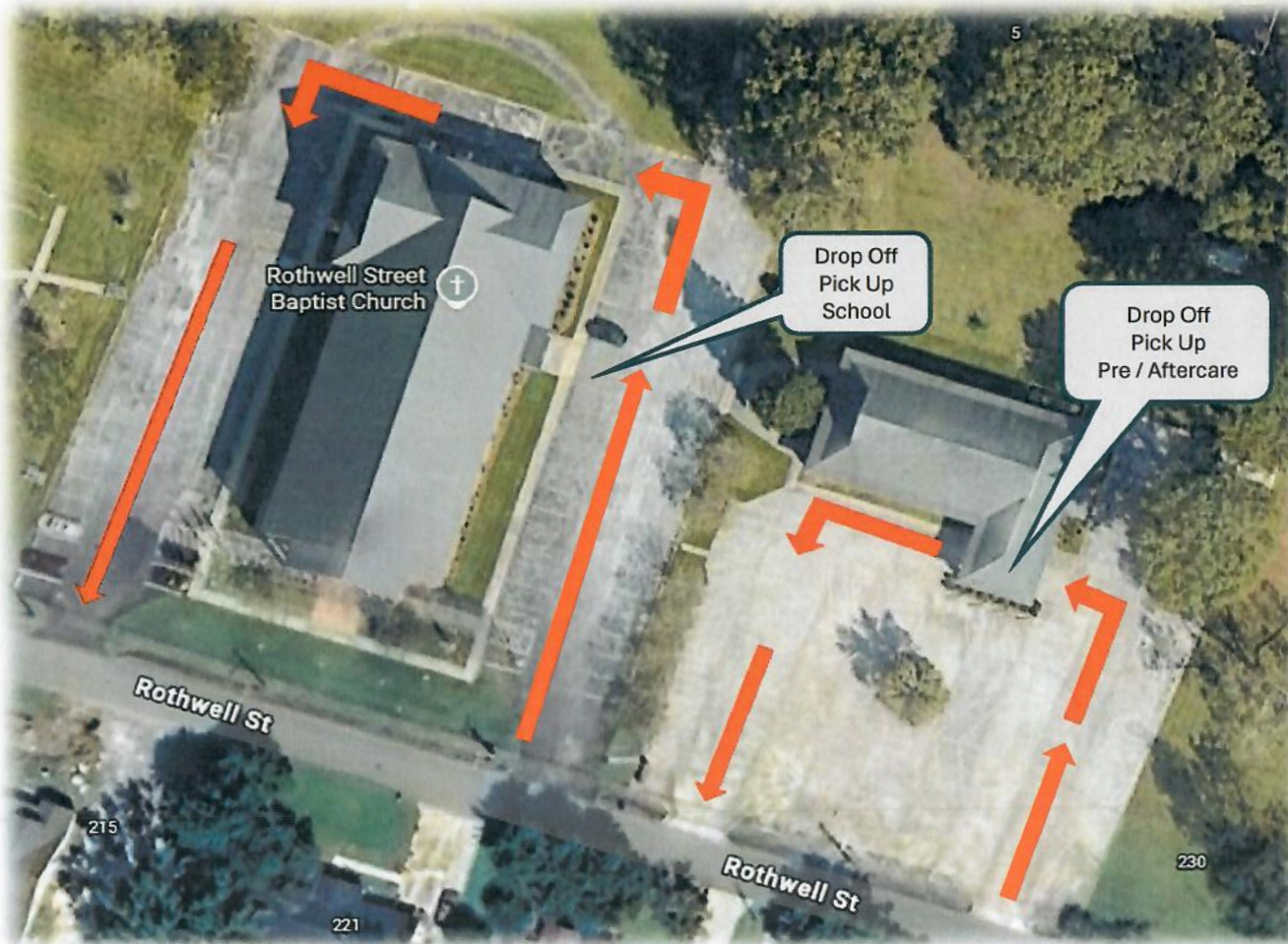
03/03/2026

Parcels



Pooler Christian School – Site Plan

Pre K – 5th Grade



Facility Square Footage	
Main Building:	13,968
Fellowship Hall:	5,915

	Parking Spaces	
	Required	Actual
Main Building:	53	93
Fellowship Hall:	23	62

Parking Lot Newly Resurfaced



Attachment C

216 E. Rothwell St. – Conditional Use

Site Photos





CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Variance request from the Godley Station - Southern Portion PUD Setback Standards to allow for a 10' reduction in the required 25' building setback, a 5'-2" reduction in the required 15' paving setback and buffer on the eastern side, a 5' reduction in the required 15' paving setback and buffer on the southwestern side, and a 5' reduction in the required 15' paving setback and buffer on the northwestern side in order to construct a retail building at 840 Towne Center Blvd.

Project:	#A26-0030
P&Z Meeting Date:	March 9, 2026
Public Hearing Date:	April 6, 2026
Applicant and Authorized Agent:	Josh Mayberry - May Construction
Location (Address):	840 Towne Center Blvd.
Parcel (PIN):	50017C0200
Existing Zoning:	PUD (Southern Portion - Godley Station)
Zoning Action:	Variance
Request:	Variance request from the Godley Station - Southern Portion PUD Setback Standards to allow for a 10' reduction in the required 25' building setback, a 5'-2" reduction in the required 15' paving setback and buffer on the eastern side, a 5' reduction in the required 15' paving setback and buffer on the southwestern side, and a 5' reduction in the required 15' paving setback and buffer on the northwestern side in order to construct a retail building at 840 Towne Center Blvd
Application Filed:	February 17, 2026
Legal Notice Published:	March 1, 2026 (Correction published March 8, 2026)
Sign Posted:	March 4, 2026
Letters Mailed:	March 2, 2026

Staff Recommendation:	Denial
Planning & Zoning Commission:	<i>After review of the criteria, P&Z recommends denial of the request.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for denial of the request."</i>
Background:	<p>The proposed project site is situated on a 1.48-acre parcel within the Southern Portion of the Godley Station PUD. The development guidelines for the PUD include setback requirements that differ from those outlined in the City of Pooler’s Code of Ordinances, with specific stipulations for building and paving setbacks as well as buffer requirements:</p> <ul style="list-style-type: none"> - All other roads: 30’ Building Setback and 20’ Paving Setback - All other Side and Rear Yard: 25’ Building Setback and 15’ Paving Setback - All other roads: 20’ buffer - All other side yards and rear yards: 15’ buffer <p>The applicant submitted a Site Development Plan Application in April 2025; however, during the review process, it was noted that their proposed setbacks did not comply with these requirements, prompting them to submit the current Variance application.</p> <p>The applicant provides a detailed explanation of their reasoning for submitting a Variance request, citing specific physical circumstances of the property that hinder its developability as-is. These circumstances include the angled parcel lines, the presence of a 30-foot-wide utility easement, and the necessary parking requirements. They argue that these factors collectively render the parcel challenging to develop without a variance. Furthermore, the applicant contends that adhering strictly to the PUD requirements would not be financially feasible for the project</p> <p>Considering the sizes and shapes of nearby parcels, the subject parcel is comparable in both shape and size, particularly with the adjacent parcel to the east, which features angled parcel lines and has a smaller size of 1.04 acres.</p>
Relevant Ordinances:	<p>App. A, Art. V, Sec. 9 – Variances</p> <p>The Southern Portion of Godley Station – Development Guidelines</p>

Zoning Action Standards:

1. That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property.
 - *Although the subject parcel has a slightly irregular shape due to angled parcel lines, its 1.48-acre size is comparable to other commercial sites in the area; there are no strictly unique conditions that hinder this particular property. The site can be effectively developed to comply with the PUD development guidelines by utilizing a smaller building footprint or by implementing a different site layout, like that of the two adjacent properties that situated the buildings perpendicular to Towne Center Blvd.*
2. That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property.
 - *There are no physical circumstances or conditions that pertain to this property that cause undue hardship or would render the site undevelopable. The site can be effectively developed to comply with the PUD development guidelines by utilizing a smaller building footprint or by implementing a different site layout.*
3. That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.
 - *The variance will not result in a use not authorized in the zoning district or cause detriment to the public good.*

Conclusion:

Staff finds that the request does not meet the required criteria for a variance. As such, staff recommends **Denial** of the request as submitted.

Attachments:

- A. Vicinity Map
- B. Submittal Documentation
- C. Site Photos



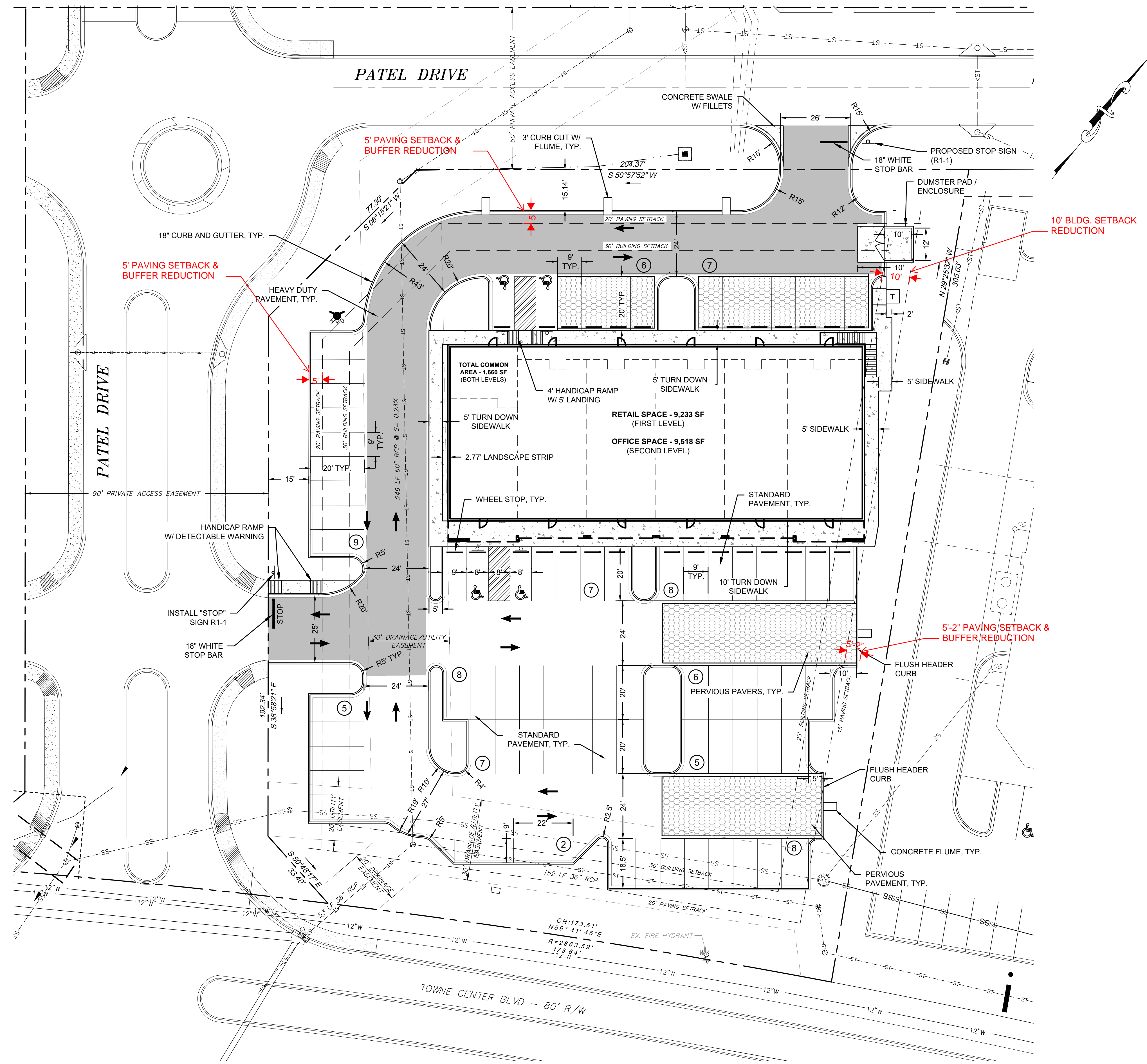
CITY of POOLER
— GEORGIA —

Vicinity Map - 840 Towne Center Blvd. - Variance

03/03/2026

Parcels



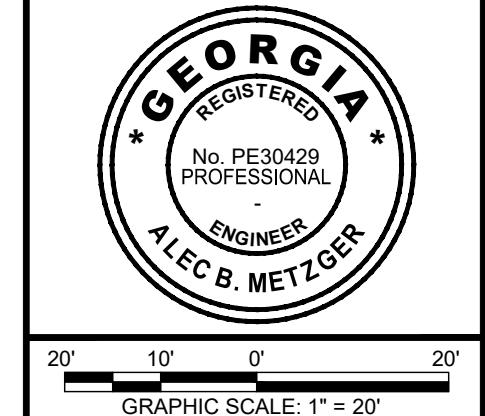


- SITE DATA:**
- LOCATION: 840 TOWNE CENTER BLVD.
 - PROPERTY ACREAGE: 1.49 AC
DISTURBED AREA: 1.55 AC
IMPERVIOUS AREA: 1.09
 - PIN: 50017C02055
 - ZONING: PUD-C
 - BUILDING SETBACKS: SHOWN ON PLAN
 - PARKING CALCULATIONS:
RETAIL - 1 SPACE PER 200 SF
LEASABLE RETAIL AREA: 9,233 SF
9,233 SF / 200 = 46 SPACES REQUIRED

OFFICE - 1 SPACE PER 300 SF
LEASABLE OFFICE AREA: 9,518 SF
9,518 SF / 300 = 32 SPACES REQUIRED

SPACES REQUIRED: 78 SPACES
SPACES PROVIDED: 78 SPACES
(74 SPACES + 4 HANDICAP)
 - GREENSPACE CALCULATION:
REQUIRED: 1.49 AC x 25% = 0.37 AC
PROVIDED: 0.41 AC (28%)
 - THIS PROJECT LIES WITHIN A ZONE X AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP 13051C0019H EFFECTIVE DATE JULY 7, 2014
 - DETENTION TO BE HANDLED BY MASTER STORMWATER DETENTION POND.
 - NO STATE WATERS WITH WRESTLED VEGETATION ARE PRESENT ON SITE.
 - NO WETLANDS ARE PRESENT ON SITE.
 - BUILDING INFORMATION:
- MIXED USE: OFFICE / RETAIL
- LEASABLE AREA: 18,751 SF
- BUILDING HEIGHT: 37'-9.5"
(MAX. BUILDING HEIGHT 50'-FT PER GODLEY STATION PUD).

NO.	REVISION DESCRIPTION	BY	DATE



EMC ENGINEERING SERVICES, INC.
27 Chatham Center South, Suite A
Savannah, GA 31405
Tel: (912) 232-5530
Fax: (912) 232-5530
savannah@emc-eng.com
www.emc-eng.com

EMC
CIVIL
MARINE
ENVIRONMENTAL

OFFICE LOCATIONS: ALBANY, ATLANTA, AUGUSTA, BRUNSWICK, COLUMBUS, SAVANNAH, STATESBORO, AND VALDOSTA

STAKING PLAN

TOWNE CENTER RETAIL/OFFICE CENTER (PARCEL 4)
840 TOWNE CENTER BOULEVARD
POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:
SAIMAA INTERNATIONAL INC.

PROJECT NO.:	25-0009
DRAWN BY:	WCS
DESIGNED BY:	DWF
SURVEYED BY:	EMC
SURVEY DATE:	-
CHECKED BY:	ABM
SCALE:	1" = 20'
DATE:	03/19/2025

SETBACK/BUFFER VARIANCE EXHIBIT

NOTES:
DIMENSIONS ARE FACE OF CURB TO FACE OF CURB

C:\2025\25-0009 TOWNE CENTER OFFICE-RETAIL-PARCEL 4\DWG\25-0009C_B02 12.4.25.DWG 3/3/2025 1:08 PM

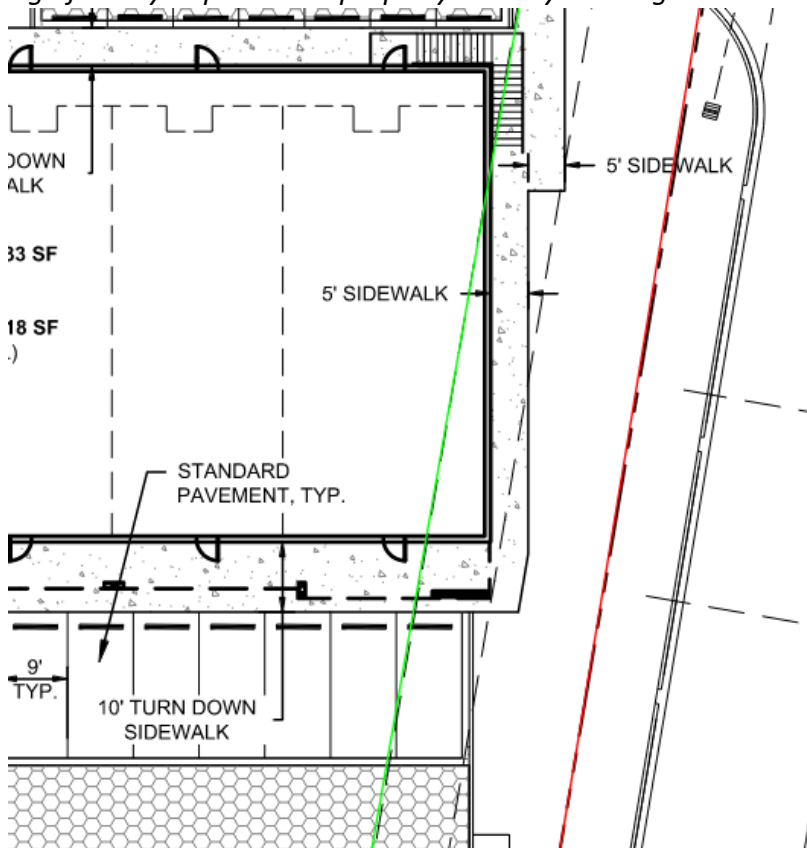


City of Pooler
Planning and Zoning Variance Request

1. That there are unique Physical Circumstances or conditions beyond the surrounding properties, including irregularities, narrowness, or shallowness of the lot size or shape, or exception topographical or other physical conditions, peculiar to the particular property and/or

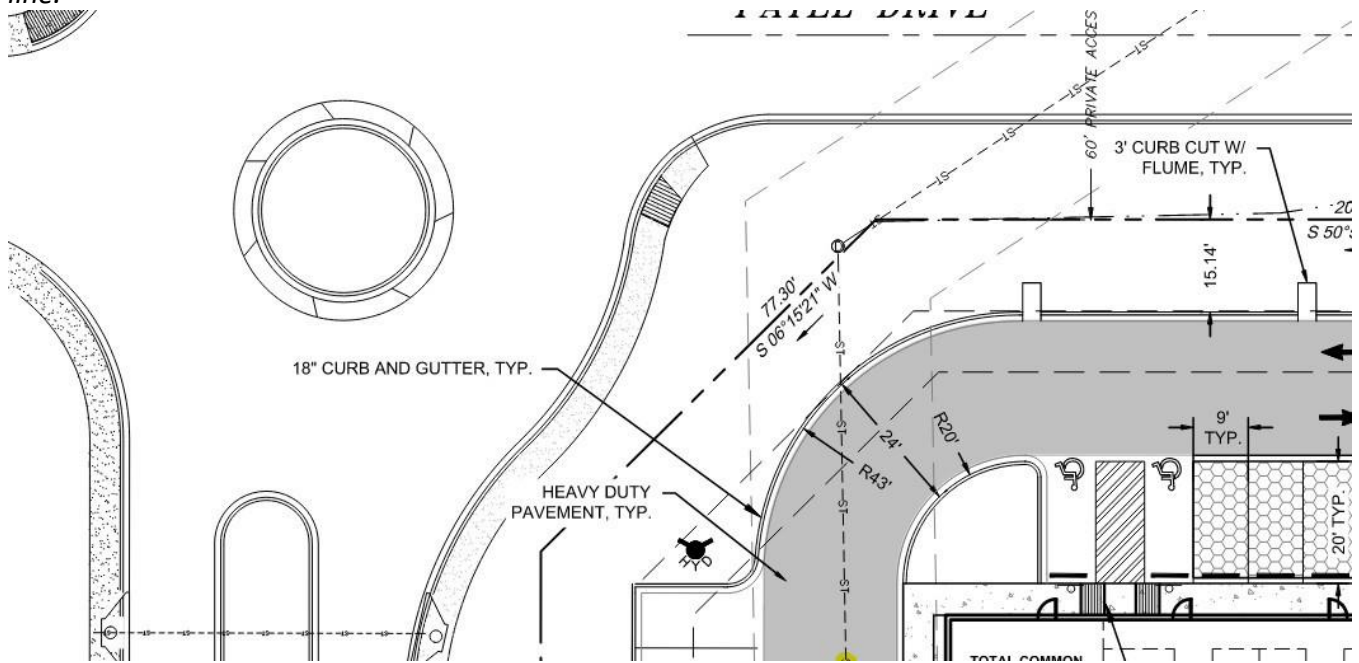
The lot located at 840 Towne Center Blvd. (PIN 50017C02055) has an irregular shaped property line that is shared with the Mavis Tire Property at the Physical West Condition at address: 820 Towne Center Blvd. Pooler, GA 31322

The property line is not Square and is at an uncharacteristic angle that hinders the ability to build an efficient and effective building. This coupled with the Towns' requirements on required parking significantly impacts this property's ability to design and construct an efficient building.

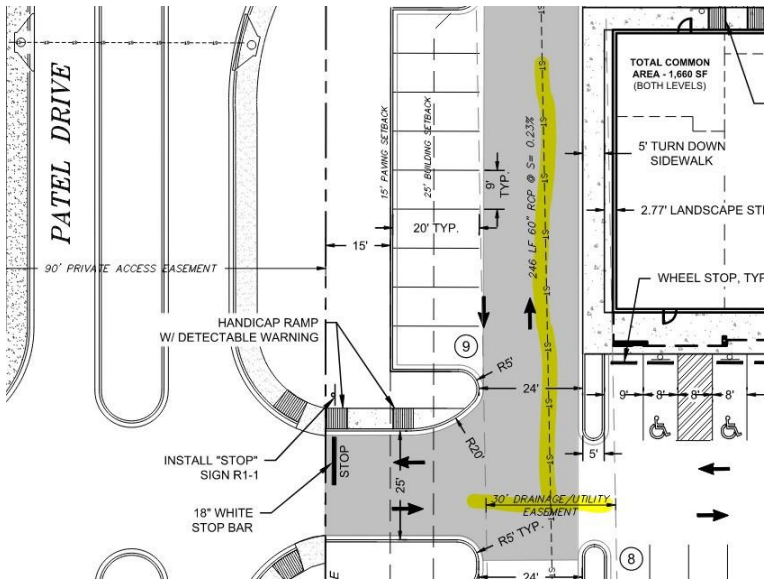


The lot in question is also adversely affected by the half round driveway that is currently constructed as part of the road leading to the Hotel (Home 2 Suites by Hilton) with a half round Circle for the intersection of Maxwell Drive and Patel Drive. This irregular circle drive adds abnormal additional setback requirements for paving, Building, utilities, etc.

Both of these irregularities are highlighted in the Exhibit A proposed site layout plan, we are requesting a variance request for the 25' building setback along the plan right or Plan West side that borders the existing Mavis Tire location. The building set back will be reduced to roughly 12' from adjacent property line.



Finally, the existing drainage Easement requirements from infrastructure currently in place limits the building and the lots capacity. This existing 30' Drainage/Utility easement on the West side of the property forces a smaller footprint for the building. This is due to an existing Storm Structure Line that runs thru the property providing connectivity to adjacent parcels. Please note below drawing identify the existing easement



2. That because of such Physical Circumstance or conditions, the property cannot be development in strict conformity with the provision of the zoning ordinance, without undue hardship of the property

Due to the Physical Conditions of the property lines and required set backs, the development will experience significant hardships. The building program as it currently is designed to fit the need of Commercial Retail and Office space the Pooler market. As it is currently designed, and with current rent conditions for this market coupled with high cost of construction, reducing the overall square feet of the building is not a feasible solution that will make this a realistic project to be developed. Adhering to the current standards in their entirety, would require a significant impact to the overall square foot of the building, requiring significant loses in building rent thus making the development not financially viable. We are estimating a 2,000sf loss in rentable space. This results in a roughly \$80,000 per year lose in potential revenue. Coupled with additional cost with redesign fees and time awaiting for these changes. The hardships this property brings provides makes development on this parcel extremely difficult.

3. That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.

The variance will not result in any unauthorized permitting issue that results in detriment to the public good. City of Pooler and Savannah needs additional Class A office space in the immediate Pooler district area. This project will result in much need Office and Retail flex space for Tenants in the community. The goal of the project is to provide continuity with the surrounding business district and the adjacent development. Our plan proposals substantial Landscape Buffer along the Adjoining Mavis Tire development to provide landscape Connectivity with the overall development. The project meets and extends all required Greenspace requirements in the City of Pooler.

Attachment B

As part of our variance request, we are extending this greenspace requirements with proposed additional Landscaping to buffer the adjoining property that we are requesting the variance on.

IN SUMMARY:

Eastern Parcel line: 10' reduction in the required 25' building setback and 5'-2" reduction in the required 15' paving setback

Southwestern Parcel line: __0'__reduction in the required 25' building setback and __ __reduction in 5' the required 15' paving setback and buffer

Northwestern Parcel line: __0__reduction in the required 25' building setback and __5'__reduction in the required 15' paving setback and buffer

Attachment C

840 Towne Center Blvd. – Variance

Site Photos





CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Zoning Map Amendment to rezone property from the R-A (Residential Agriculture) Zoning District to the R-3A (Multifamily Residential) Zoning District in order to construct a 303 multi-family development consisting of townhomes, single family detached and cluster style homes, all to be located on one property at 1400 Canal Bank Court.

Project:	#A26-0036
P&Z Meeting Date:	March 9, 2026
Public Hearing Date:	April 6, 2026
Applicant and Authorized Agent:	Foram Group – Travis Stringer
Property Owner:	Little Neck Partners, LLC
Parcel (PIN):	51009 03020
Existing Zoning:	R-A (Residential Agriculture)
<hr/>	
Zoning Action:	Map Amendment
Request:	Zoning Map Amendment to rezone property from the R-A (Residential Agriculture) Zoning District to the R-3A (Multifamily Residential) Zoning District in order to construct a 303 multi-family development consisting of townhomes, single family detached and cluster style homes, all to be located on one property at 1400 Canal Bank Court.
<hr/>	
Application Filed:	February 20, 2026
Legal Notice Published:	March 1, 2026
Sign Posted:	March 4, 2026
Letters Mailed:	March 3, 2026
<hr/>	
Staff Recommendation:	Approval

Planning & Zoning Commission:	[TBD]
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Background:	<p>1400 Canal Bank Ct., known as the Monroe Tract, is an approximately 124.31-acre parcel that is primarily wetlands, making only the western portion developable. Currently, the parcel lacks immediate access to a right-of-way for ingress and egress; however, the applicant proposes a development that will be accessed through a parcel also owned by them located within the City of Savannah, providing a point of entry from Little Neck Road. Since the development is within the City of Pooler, and access is only available through the City of Savannah, the applicant is proposing to donate the land on site for a Pooler fire station on the portion of land within the City of Savannah, ensuring emergency services can reach the development.</p> <p>In the application materials, the applicant cites a Georgia Tech Housing Study indicating that Chatham County faces an 8-year housing deficit of 17,626 units, with an annual production rate of 2,203 units. They propose that, if the property is rezoned and a Site Plan is later approved, their development of 303 multi-family units comprised of townhomes, single-family detached homes, and cluster-style homes would help alleviate housing demand by providing much-needed units.</p>
Relevant Ordinances:	<p>App. A, Art. IV, Sec. 23. R-A Residential Agriculture District</p> <p>App. A, Art. IV, Sec. R-3A Multifamily Residential Dwelling District</p>
Zoning Action Standards:	<ol style="list-style-type: none"> 1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area? <ul style="list-style-type: none"> • <i>Although the request is not technically an extension of an existing zoning boundary in the immediate vicinity, the large size of the parcel could create an appropriately sized residential zoning district if rezoned. Routing vehicular traffic to Little Neck Road instead of Canal Bank Road, along with the inclusion of an additional Pooler fire station, would enable the development of the parcel without disrupting the existing development pattern in the surrounding area. Overall, this could contribute to improving the pattern of uses in the predominantly R-A (Residential Agriculture) zoned area. Additionally, the property directly adjacent to the subject property within the City of Savannah has been rezoned for a mixed-residential</i>

PUD consisting of single-family detached homes, townhomes and apartments.

2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - *No, while the request involves a single parcel, it is adjacent to residentially zoned property, and the 124.31-acre size is substantial enough to establish an appropriate residential zoning district.*
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
 - *No, the rezoning is proposed to establish a 303 multi-family development comprising townhomes, single-family detached homes, and cluster-style homes, all located on the single property at 1400 Canal Bank Court with access via Little Neck Road. Although this development would generate significant vehicular traffic, routing access through Little Neck Road will help minimize traffic on the established residential roadways in the City of Pooler to the north and east of the subject site and wouldn't require traversing through already established single-family neighborhoods.*
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - *The site is designated as Residential on the Future Land Use Map and is located within the Residential Homestead Character Area in the Comprehensive Plan. Rezoning the parcel to R-3A would facilitate a denser housing development while still aligning with the intent of the City of Pooler's future plans. Moreover, the establishment of a Pooler fire station on the site would enhance emergency service response times to the surrounding residential area.*
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
 - *There is no imminent need for rezoning the property; however, the property will likely be utilized for the use requested.*
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
 - *No, while an R-3A zoning district would permit a denser housing pattern, the significant wetland creates a buffer between the R-A zoned residential parcels and*

the subject site in the rear, along with access being routed off Little Neck Road, would enable this denser development without negatively impacting the surrounding area. As the property adjacent to and across Little Neck Rd from the subject property, located within the City of Savannah has recently been rezoned for mixed residential PUD consisting of single-family detached homes, townhomes and apartments, the area has seen a recent trend towards new denser residential development.

7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
 - *There is potential that additional requests similar to the current one could emerge, given that most adjacent land uses fall within the R-A zoning district and are primarily developed as single-family homes on large lots. However, since the request is to rezone the parcel to another residential zoning district, it is expected to have minimal impact on the surrounding R-A zoned properties.*
8. Will the action adversely impact adjacent or nearby properties in terms of:
 - Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *While an R-3A zoning district would allow for a denser housing pattern, the substantial wetland creates a buffer between the R-A zoned residential parcels and the subject site in the rear, there will be a 50 foot buffer required between the subject site and the R-A zoned residential parcels in the front and a 25 foot buffer required adjacent to the canal property. Additionally, with the access being directed off Little Neck Road, this denser development shouldn't negatively impact the surrounding area. This arrangement ensures that vehicular traffic is kept away from the existing roadways accessed by the surrounding R-A zoned properties and will create a visual separation between the two zoning districts.*
 - Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?

- *The request is unlikely to negatively impact nearby properties zoned R-A in terms of property values and marketability as residential properties. If the rezoning is approved, it would facilitate the development of a multi-family, single-site project that is well-buffered from the adjacent R-A zoning district and accessed via a roadway capable of accommodating the additional traffic.*
- Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
 - *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any future site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.*
- 9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?
 - *The applicant is working with the City on a Development Agreement so that water and sewer services can be extended to the property.*

Conclusion:

Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends approval of the request.

Attachments:

- A. Vicinity Map
- B. Zoning Map
- C. Submittal Documentation
- D. Site Photos



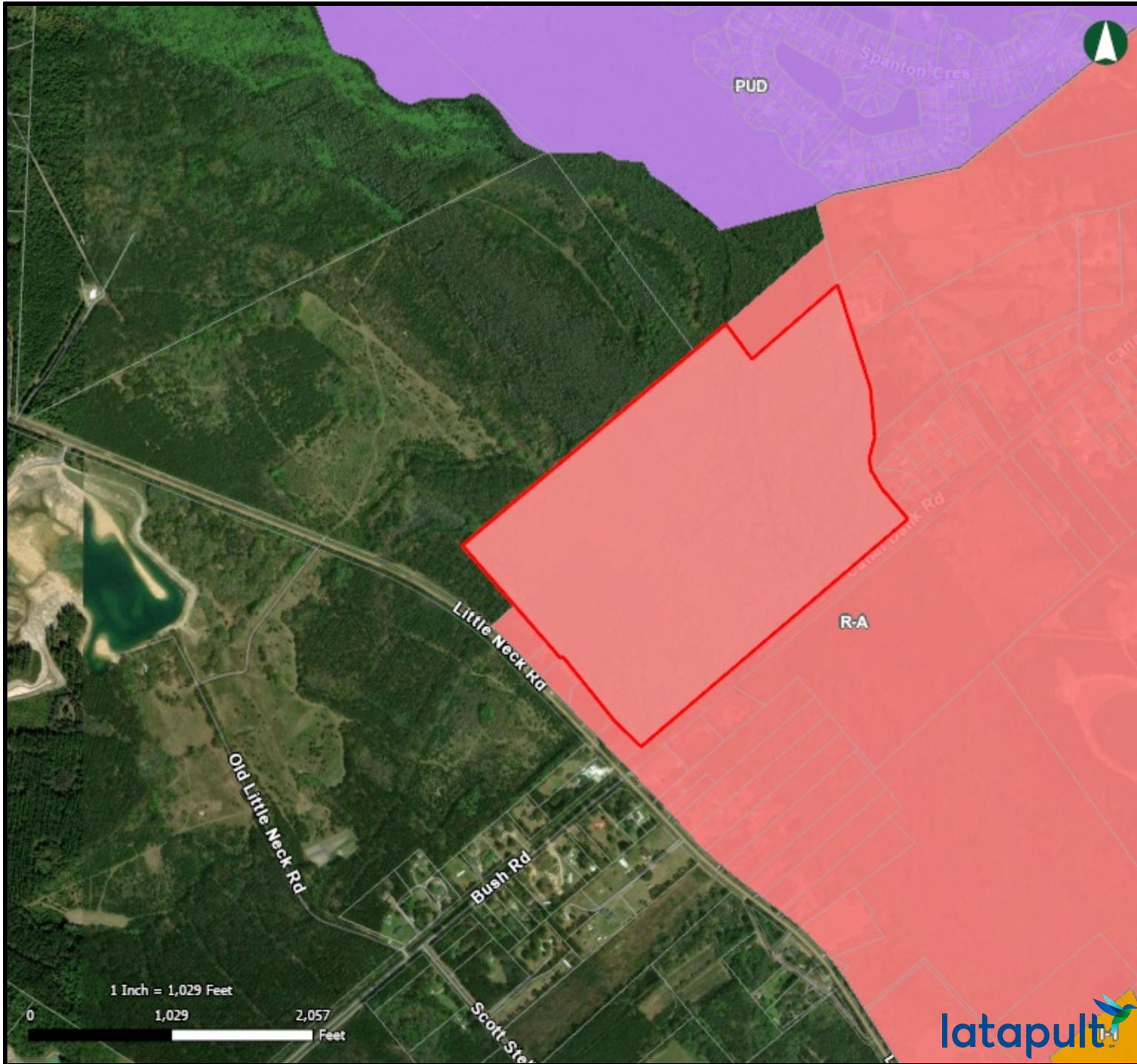
CITY of POOLER
— GEORGIA —

Vicinity Map - 1400 Canal Bank Ct. - Zoning Map Amendment

03/03/2026

Parcels





CITY of POOLER
— GEORGIA —

Zoning Map - 1400 Canal Bank Ct. - Zoning Map Amendment

03/03/2026

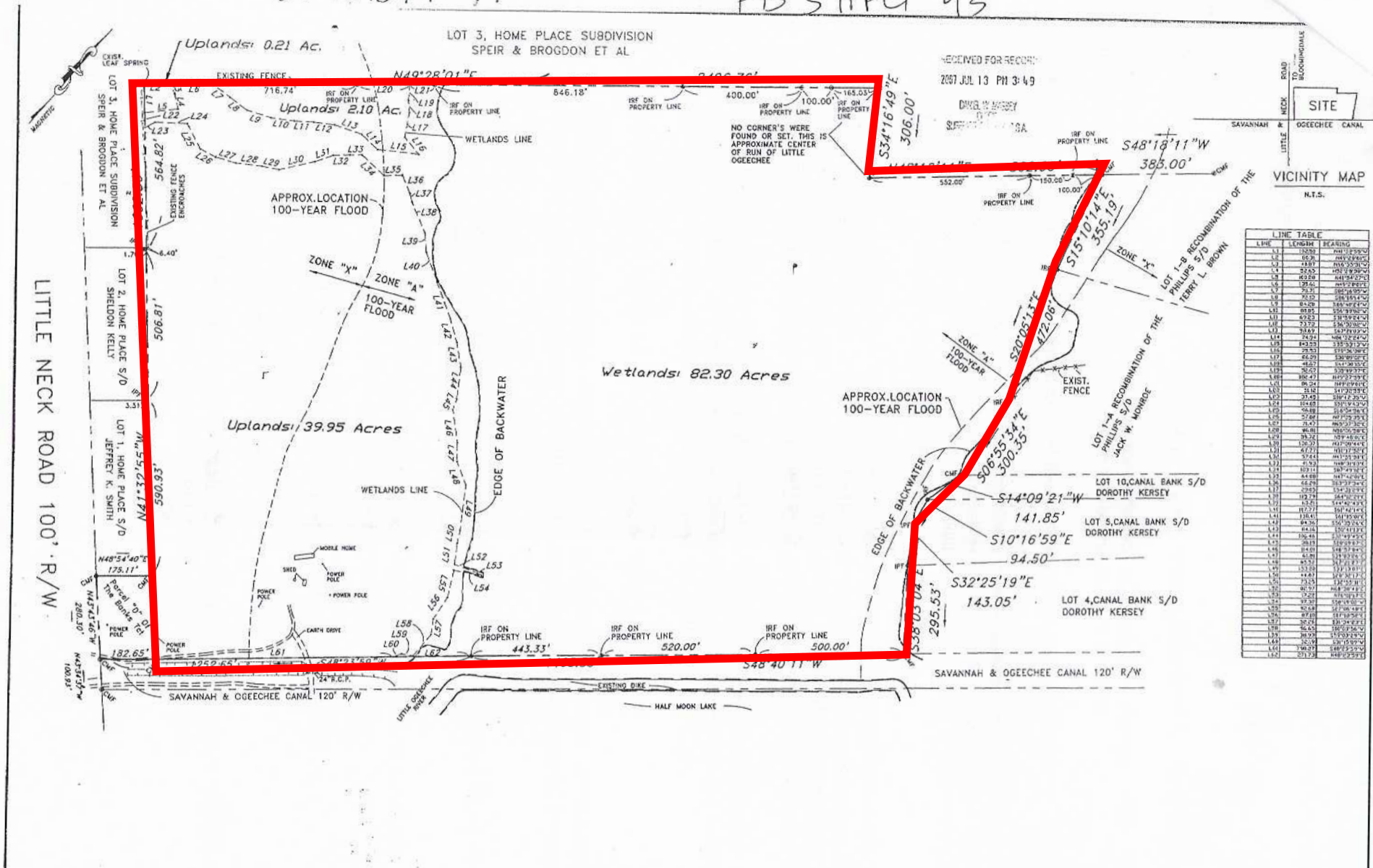
-  Parcels
-  Business/Commercial
-  Industrial
-  PUD
-  Residential



EXT11311 A

Attachment C

PB 374PG 43



RECEIVED FOR RECORD
2007 JUL 13 PM 3:49
DANIEL W. HELMLY
SURVEYOR
STATE OF GEORGIA



LINE	LENGTH	BEARING
L1	150.00	N41°28'01"E
L2	162.00	N41°28'01"E
L3	48.87	N41°28'01"E
L4	25.52	N41°28'01"E
L5	62.28	N41°28'01"E
L6	35.00	N41°28'01"E
L7	70.00	N41°28'01"E
L8	70.00	N41°28'01"E
L9	63.85	N41°28'01"E
L10	63.85	N41°28'01"E
L11	23.72	N41°28'01"E
L12	23.72	N41°28'01"E
L13	23.72	N41°28'01"E
L14	23.72	N41°28'01"E
L15	44.29	N41°28'01"E
L16	44.29	N41°28'01"E
L17	44.29	N41°28'01"E
L18	44.29	N41°28'01"E
L19	44.29	N41°28'01"E
L20	44.29	N41°28'01"E
L21	44.29	N41°28'01"E
L22	44.29	N41°28'01"E
L23	44.29	N41°28'01"E
L24	44.29	N41°28'01"E
L25	44.29	N41°28'01"E
L26	44.29	N41°28'01"E
L27	44.29	N41°28'01"E
L28	44.29	N41°28'01"E
L29	44.29	N41°28'01"E
L30	44.29	N41°28'01"E
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L98	44.29	N41°28'01"E
L99	44.29	N41°28'01"E
L100	44.29	N41°28'01"E

Notes
1. According to the Flood Insurance Rate Map, as prepared by the Federal Emergency Management Agency, a portion of this property lies within a flood hazard area as indicated on said map. (Community Panel No. 130630-0075 C dated MAY 19 1987. Zone A).

LEGEND:
CONC. MONUMENT FOUND
IRON ROD FOUND

ERROR OF CLOSURE:
FIELD: 1/48,323
ANGULAR ERROR: 00" PER POINT
ADJUSTED BY COMPASS METHOD
PLAN: 1/3,392,673
EQUIPMENT:
TOPCON GTS 212
SINOX PRISM

SCALE: 1" = 300'

Total Wetlands: 82.30 Acres
Uplands: 42.26 Acres
Total Area: 124.56 Acres

- REFERENCES:
1. PLAT OF THE BANKS TRACT DATED 2/24/75 SURVEYED BY HELMLY, PURCELL & ASSOC., INC.
 2. PLAT OF LOT 1, DATED MARCH 8, 1978 SURVEYED BY HELMLY, PURCELL & ASSOC., INC.
 3. D.B. 117-N FOLIO 824
 4. S.M.B. 17 5 PAGE 94



Plat Of the Western Portion
Of The M.M. Monroe Tract And Parcel "D"
Of The Banks Tract, 8th. G.M. District,
Chatham County, Georgia

FOR: Coastal Excavating & Mining, LLC

Vincent Helmly
317 DERRICK INN ROAD
SAVANNAH, GEORGIA
(912) 925-3523

Revised: 07-02-07
JOB# 06-306
Date: JUNE 6, 2006

37-P
P9 43

Monroe Property concept sketch



Design Data:
 Single detached: 72 units
 Cluster style: 182 units
 Townhome: 49 units

303 Total Units

MONROE PROPERTY CONCEPTUAL MASTER PLAN

POOLER, GA
FEBRUARY 2026



Attachment D

1400 Canal Bank Ct. – Zoning Map Amendment

Site Photo





CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Development Plan Approval for a 123-Room Hotel and a Restaurant Located at 200 Suri Avenue in the Savannah Quarters PUD, Phase 7 and Mosaic Town Center.

Project:	#A25-0149
P&Z Meeting Date:	March 9, 2026
City Council Meeting Date:	April 6, 2026
Applicant and Authorized Agent:	DJ Desai
Property Owner:	Shan Pooler Land Investments, LLC
Location (Address):	200 Suri Avenue
Parcel (PIN):	51009 01007
Acreage:	Approximately 2.34-Acres
Zoning:	PUD (Savannah Quarters, Phase 7), Mosaic Town Center
Proposed Use:	123-Room Hotel and a Restaurant
Staff Recommendation:	Approval
Planning & Zoning Commission:	TBD
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none"> 1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans. <ul style="list-style-type: none"> o <i>The site is located within an area that is shown on the Future Land Use Map as Commercial and is shown in the Comprehensive Plan as being within the PUD/Mixed Use Character Area. The proposed hotel and restaurant are consistent with the plans for the area and is consistent</i>

with the existing developments surrounding the parcel, including retail, restaurants, and multi-family residential parcels.

2. Whether the site plan provides for adequate pedestrian and traffic access.
 - *The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.*
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - *The proposed plan provides adequate off-street parking.*
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - *Yes, the site plan provides the appropriate location, arrangement, size, and design when considering the surrounding commercial and multi-family residential developments.*
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - *Yes, the proposed site plan is appropriate in scale for the 2.34-acre site and the adjacent properties.*
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - *The proposed site development is to be adequately served.*
7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - *The site is proposed to be adequately served.*
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - *The site plan complies with the provisions related to buffer and screening requirements.*
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- *The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.*

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- *The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.*

11. Whether the site plan is in conformance with the latest version of the City of Pooler's Standard Specifications and Details.

- *The site plan is in conformance with the latest version of the City of Pooler's Standard Specifications and Details.*

Conclusion:

The site plan addresses the site plan approval criteria, as such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Submittal Documentation
- C. Approval Letter



CITY of POOLER
— GEORGIA —

Vicinity Map - 200 Suri Avenue - Site Plan

03/02/2026

Parcels

EXISTING FEATURES LEGEND

Table with 2 columns: SYMBOLS and LINETYPES. Lists various symbols for features like holes, pipes, manholes, and lines, along with their corresponding line styles.

Table with 2 columns: ABBREVIATIONS and LINETYPES. Lists abbreviations for features like BFE, CMP, CPP, DIP, FFE, FRD, HDPE, HDW, HML, IE/INV, LVL, PWC, RCB, RCP, THR, VCP, VLT, CONCRETE BOX CULVERT, REINFORCED CONCRETE PIPE, THROAT ELEVATION, VITRIFIED CLAY PIPE, VAULT, etc.

Table with 2 columns: ABBREVIATIONS and LINETYPES. Lists abbreviations for features like BFE, CMP, CPP, DIP, FFE, FRD, HDPE, HDW, HML, IE/INV, LVL, PWC, RCB, RCP, THR, VCP, VLT, CONCRETE BOX CULVERT, REINFORCED CONCRETE PIPE, THROAT ELEVATION, VITRIFIED CLAY PIPE, VAULT, etc.

PRECONSTRUCTION AND CLOSEOUT REQUIREMENTS: 1. ALL PROJECTS CONSTRUCTED WITHIN THE CITY LIMITS OF POOLER AND/OR CONNECTING TO THE CITY OF POOLER WATER AND SEWER SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF POOLER STANDARD SPECIFICATIONS. NO EXCEPTIONS SHALL BE MADE FOR PRIVATELY MAINTAINED SYSTEMS. 2. ALL PROJECTS SHALL BE TIED TO AND SHALL BE COMPLETED ON THE NAVD 1988 VERTICAL DATUM AND THE NAD 83 STATE PLANE COORDINATES. HORIZONTAL DATUM AND SHALL BE BASED ON US SURVEY FEET. 3. PRIOR TO BEGINNING OF CONSTRUCTION A PRE-CONSTRUCTION CONFERENCE WILL BE SCHEDULED AND SHALL BE ATTENDED BY THE ENGINEER OF RECORD OR OTHER OWNER'S REPRESENTATIVES, THE CONTRACTOR, AND CITY REPRESENTATIVES. 4. RECORD DRAWINGS OF THE APPROVED CONSTRUCTION PLANS IN THE FOLLOWING FORMAT SHALL BE DELIVERED TO THE CITY BY THE OWNER'S REPRESENTATIVE IN THE REQUIRED COORDINATE SYSTEM. a. (1) SET ON REPRODUCIBLE MYLAR b. (2) SETS ON BOND c. (1) COMPLETE SET OF DIGITAL RECORD DRAWINGS ON AUTOCAD FILE AND PDF 5. (1) ORIGINAL LETTER, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA, CERTIFYING THAT THE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY. 6. (3) COPIES OF ALL WARRANTIES, BONDS, AND OPERATION MANUALS SHALL BE SUBMITTED TO THE CITY. 7. (3) COPIES OF RECORDED PLATS SHOWING ALL REQUIRED ROW AND OR EASEMENTS FOR PUBLIC AND/OR PRIVATE STREETS, DRAINAGE, UTILITIES, AND/OR FACILITIES SHALL BE SUBMITTED TO THE CITY.

PROPOSED FEATURES LEGEND

Table with 2 columns: DEMOLITION, EROSION CONTROL, PROPERTY, UTILITIES, TOPOGRAPHY, PAVEMENT HATCHING. Lists symbols and hatch patterns for proposed features like hatching, erosion control, property lines, utilities, topography, and pavement types.

GENERAL NOTES: 1. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. 2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF POOLER SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE. 3. PRIOR TO INSTALLATION OF ANY UTILITY LINES, THE CONTRACTOR SHALL GIVE THE UTILITY COMPANIES THREE (3) WORKING DAYS NOTICE TO ALLOW TIME FOR EXISTING UTILITIES TO BE STAKED. BEFORE CALLING (811) THE CONTRACTOR SHALL HAVE THE FOLLOWING INFORMATION READY: COUNTY, TOWN, LOCATION, NEAREST STREET INTERSECTIONS, TYPE OF WORK (SEWER, WATER, PAVING, ETC.), YOUR COMPANY NAME, TELEPHONE NUMBER, OWNER'S NAME, DATE AND TIME YOU EXPECT TO COMMENCE CONSTRUCTION, AND WHERE AND HOW YOU CAN BE REACHED AND THE BEST TIME TO CONTACT YOU. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES, AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY VARIANCES PRIOR TO COMMENCEMENT OF WORK OR PURCHASING ANY MATERIALS. 4. ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES. EXCEPT AS NOTED BELOW, THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ABUTTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS. 5. IT IS THE OBLIGATION OF THE CONTRACTOR TO MAKE HIS OWN INTERPRETATION OF ALL SURFACE AND SUBSURFACE DATA AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED. THE INFORMATION SHOWN ON THESE PLANS AND SPECIFICATIONS DOES NOT IN ANY WAY GUARANTEE THE AMOUNT OR NATURE OF THE MATERIAL WHICH MAY BE ENCOUNTERED. 6. ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO ASTM C76, CLASS III. MINIMUM PIPE DIAMETER SHALL BE 15". PIPE JOINTS SHALL BE MADE BY USE OF A CONTINUOUS TYPE II OR III RUBBER GASKET CONFORMING TO THE REQUIREMENTS OF ASTM C443. 7. FILL SHALL CONSIST OF SUITABLE MATERIALS WHICH ARE GENERALLY COMPOSED OF SANDS, CLAY-SAND MIXTURES, AND SILT-SAND MIXTURES AND ARE FREE OF ROOTS, TRASH, AND OTHER DELETERIOUS MATERIAL. CLAYS, SILTS, AND ORGANIC SOILS SHALL BE CONSIDERED AS UNSUITABLE MATERIALS. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND FURNISHING THE BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. BORROW MATERIAL SHALL BE CAPABLE OF BEING SHAPED AND COMPACTED TO THE REQUIRED DENSITIES SPECIFIED. 9. DURING CONSTRUCTION IN THE AREA OF AN INTERSECTION, WORK WILL BE PERFORMED IN SUCH A MANNER AS TO PERMIT TRAFFIC TO OPERATE WITH THE LEAST AMOUNT OF INCONVENIENCE POSSIBLE. ADDITIONAL CHANNELIZATION AND SIGNAGE SHALL BE INSTALLED, AS DIRECTED BY THE ENGINEER, TO ALLOW TRAFFIC TO FLOW AS FREELY AS POSSIBLE. WHEN AN INTERSECTION IS IMPERMEABLE, FLAGGERS WILL BE UTILIZED TO CONTROL TRAFFIC. ALL TRAFFIC CONTROL DEVICES AND METHODS SHALL BE PER THE M.U.T.C.D. 10. A COMPLETE PERMIT SET OF PLANS MUST BE KEPT ON SITE AT ALL TIMES. 11. PROTECTION OF EXCAVATED AREAS: - TEMPORARY FENCING SHALL BE USED AROUND OPEN EXCAVATIONS AT ALL TIMES, EXCEPT AS NECESSARY FOR IMMEDIATE CONSTRUCTION. WHEN WORK IS NOT IN PROGRESS, FENCING SHALL ENCLOSE EXCAVATED AREAS. UTILITY TRENCHES SHALL BE BACKFILLED TO GRADE AT THE END OF THE DAY, ALLOWING FOR A MAXIMUM OF 10' (FENCE-PROTECTED) TRENCH TO REMAIN OPEN. 12. THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION. 13. ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS LATEST EDITION. 14. PAVEMENT REQUIREMENTS: 8.0 INCHES CRUSHED STONE BASE AND 1.5 INCHES ASPHALT WEARING SURFACE IN ACCORDANCE WITH CITY OF POOLER STANDARD DETAILS. 15. ALL PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD ON BOTH PUBLIC STREETS AND PRIVATE STREETS THAT ARE "OPEN TO PUBLIC TRAVEL". 16. THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN. 17. THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA. 18. EXCAVATIONS: a. NO PERSON SHALL REMOVE, DIG, EXCAVATE, BORE UNDER, TRENCH, FLOW OR DESTROY ANY PORTION OF ANY SIDEWALK, PUBLIC WAY, RIGHT-OF-WAY AND/OR ROAD, FOR ANY PURPOSE OTHER THAN FOR EMERGENCY UTILITY REPAIRS OR LAYING WATER MAINS, STORM DRAINS OR SANITARY SEWER UNDER THE SUPERVISION AND CONTROL OF THE CITY, WITHOUT FIRST OBTAINING A PERMIT FROM THE CITY OF POOLER. b. PERMITS SHALL BE APPLIED FOR NOT LESS THAN 72 HOURS, NOT INCLUDING WEEKENDS AND/OR HOLIDAYS, BEFORE ANY EXCAVATION IS SCHEDULED TO BEGIN. THE COST OF OBTAINING A PERMIT SHALL BE AS SET FORTH IN THE SCHEDULE OF FEES AND CHARGES. c. PERMITS CAN BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT AND/OR THE CITY DESIGNER. d. IF THERE IS ANY CONFLICT IN THE INTERPRETATION OF REGULATIONS REGARDING EXCAVATION OF UTILITIES, THE INTERPRETATION OF THE CITY OF POOLER SHALL GOVERN.

UTILITY NOTES

GENERAL: 1. THE PIPES, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM ALL FOREIGN MATTER AT ALL TIMES. 2. ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPES SHALL BE REJECTED. ALL FOREIGN MATTER SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND IT SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT FOREIGN MATTER FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE PLUGGED OR CAPPED BY APPROVED MEANS TO FORM A WATER TIGHT SEAL. NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE. 3. ALL WET TAPS SHALL INCLUDE TAPPING SADDLES, SLEEVES, VALVES AND VALVE BOXES OR MANHOLES AS NOTED ON UTILITIES SHEET. ALL EXISTING PROVIDING AND INSTALLING OF TAPPING SLEEVE, TAPPING VALVE IN A MANHOLE, THRU-ROCK RESISTANCE BLOCKS/TIE-RODS/MEGALUGS, BACKFILL, COMPRESSOR, MANPOWER, ETC. WILL BE PROVIDED BY THE CONTRACTOR. THE DEVELOPER/CONTRACTOR IS TO COORDINATE THE WET TAP WITH THE CITY OF POOLER PUBLIC WORKS DEPARTMENT. 4. TAPPING SLEEVES SHALL BE MECHANICAL JOINT TYPE, MUELLER NO. H-615, CLOW F-5205, OR APPROVED EQUAL. TAPPING VALVES SHALL BE MECHANICAL JOINT TYPE GATE VALVES, MUELLER NO. 667, CLOW F-5093, OR APPROVED EQUAL. 5. GATE VALVES SHALL BE AMERICAN, WATEROUS, OR EQUAL AND SHALL BE FURNISHED WITH STANDARD OPERATING NUTS, BALL VALVES 2" AND SMALLER SHALL BE DESIGNED FOR A WORKING PRESSURE OF NOT LESS THAN 300 PSI, DOMESTIC MADE BRASS, AND SHALL CONFORM TO AWWA C 800-89. 6. FIRE HYDRANTS SHALL BE 5-1/4" MINIMUM AMERICAN DARLING, MUELLER, M&H, OR APPROVED EQUAL AND SHALL CONFORM TO AWWA C502. 7. DISINFECTION AND FLUSHING WATER MAINS: CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF ANY DISINFECTION AND FLUSHING OF NEWLY CONSTRUCTED WATER MAINS. FLUSHING WATER AND SUPER CHLORINATED WATER WILL BE DISPOSED OF BY A METHOD APPROVED BY THE ENGINEER. CHLORINATED DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE EXISTING OR PROPOSED STORM DRAINAGE SYSTEMS. FLUSHING: A. FLUSHING WATER MAY BE DISCHARGED INTO THE SANITARY SEWER SYSTEM AFTER BEING FILTERED OF LARGE SOLIDS AND SEDIMENT UNDER THE SUPERVISION OF THE ENGINEER. B. FLUSHING PROCEDURES SHALL INCLUDE OPEN-ENDED FLUSHING IN ORDER TO INSURE THE LINE IS CLEAR. C. FLUSH NEW PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHALL BE DONE AFTER PRESSURE TEST AND BEFORE DISINFECTION. D. THE LINES SHALL BE FLUSHED USING A METHOD ACCEPTABLE TO THE CITY PRIOR TO CONNECTION TO THE WATER SYSTEM. LINES SHALL BE FLUSHED FOR 30 MINUTES AT A VELOCITY SUFFICIENT TO PURGE THE LINES OF ANY FOREIGN MATTER. E. CLEAN THE INTERIOR OF ALL PIPE BY BRUSHING, SWABING, OR WASHING OUT ALL DIRT BEFORE LAYING. 8. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACK FLOW PREVENTION DEVICE AND FIRE HYDRANT METER. 9. PRIOR TO CONNECTING TO ANY EXISTING WATER MAINS, REUSE MAINS, OR SANITARY SEWER LINES AND PRIOR TO DIGGING FOR PROPOSED CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY OWNER A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING. 10. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. 11. ALL MATERIALS USED AND THAT COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE / NATIONAL SANITARY FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61). 12. MAINTAIN A MINIMUM OF 36" OF COVER FOR ALL MAINS 12" AND SMALLER. A MAXIMUM COVER OF 60" FROM FINISHED GRADE SHALL BE USED UNLESS APPROVED TO AVOID CONFLICT. IF THE COVER IS LESS THAN 36", DUCTILE IRON PIPE SHALL BE USED. 13. ALL PHASES OF CONSTRUCTION OF THE WATER SYSTEM SHALL COMPLY WITH THE GA EPD RULES FOR SAFE DRINKING WATER, CHAPTER 391-3-5 AND THE LATEST EDITION OF THE EPD MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS. 14. MAXIMUM JOINT DEFLECTION AND BENDING OF PVC PIPE SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS. 15. A #12 GAUGE SOLID COPPER TRACING WIRE SHALL BE INSTALLED ON ALL WATER MAINS, WATER LATERALS, FIRE HYDRANTS, POST HYDRANTS, AND/OR BLOW OFFS AND ALL SANITARY SEWER LINES, LATERALS, AND FORCE MAINS. 16. UNDERGROUND MARKING TAPE SHALL BE INSTALLED OVER ALL WATER MAINS (18" BELOW GRADE). 17. UTILITIES SHALL NOT BE PLACED LONGITUDINALLY UNDER STREET PAVEMENT. 18. MAINTAIN A MINIMUM OF 10' SEPARATION HORIZONTAL AND 18" VERTICAL BETWEEN WATER & SEWER LINES. 19. WATER MAINS MUST BE DIP WHEN CROSSING STORM OR SEWER MAINS. 20. ALL WATER AND SEWER LINES RUNNING UNDER STREETS/SIDEWALKS SHALL BE SLEEVED. 21. ALL PUBLICLY OWNED UTILITIES SHALL BE INSTALLED IN THE ROAD RIGHTS-OF-WAY OR APPROVED ACCESS EASEMENTS. 22. SANITARY SEWER, WATER MAINS, SERVICE LATERALS OR OTHER PUBLICLY OWNED UTILITIES SHALL NOT BE INSTALLED BEHIND OR BETWEEN LOTS WITHOUT THE EXPRESS APPROVAL OF THE CITY OF POOLER. IF ALLOWED THE UTILITY WILL NEED TO BE IN A PROPER EASEMENT. WATER: 1. ALL PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW. 2. RESIDENTIAL WATER LATERALS: 1" DIAMETER MINIMUM. 3. RESIDENTIAL WATER LATERALS SHALL BE INSTALLED NO MORE THAN 5' FEET FROM THE PROPERTY CORNER. 4. THE WATER MAINS AT THE CUL-DE-SAC SHALL BE INSTALLED AROUND THE CUL-DE-SAC THEREBY ELIMINATING THE LATERALS FROM BEING INSTALLED UNDER THE CUL-DE-SAC. 5. CUT-OFF VALVES WILL BE LOCATED AT ALL TEES WHERE LINES ARE TWO INCHES OR LARGER. 6. ALL GATE VALVES 4" OR LARGER THAT ARE INSTALLED ON A TRANSMISSION LINE SHALL BE INSTALLED IN A MANHOLE. ALL GATE VALVES AT THE ENTRANCE OF A SUBDIVISION THAT TIE INTO A TRANSMISSION LINE SHALL BE INSTALLED IN A MANHOLE. ALL OTHER GATE VALVES CAN BE INSTALLED IN A CAST IRON VALVE BOX WITH A CONCRETE COLLAR AND CONCRETE VALVE MARKER POSTS. 7. ALL VALVES SHALL HAVE A CONCRETE MONUMENT WITH "W/VALVE" INSCRIBED ON TWO SIDES OF THE MONUMENT, INSTALLED NO MORE THAN 6' AWAY FROM THE VALVE. 8. ALL METER CONNECTION POINTS MUST HAVE AN APPROVED, REDUCED PRESSURE BACKFLOW DEVICE. THIS INCLUDES FIRE LINES, IRRIGATION LINES, AND DOMESTIC SUPPLY LINES. 9. MAINTAIN A MINIMUM OF 3 FEET OF COVER. 10. SERVICE LATERALS UNDER ROADS ARE TO BE SLEEVED AND AT LEAST 30" BENEATH THE ROAD SURFACE. 11. PIPE MATERIAL: FOR LINE SIZE 4" - 12" POLYETHYLENE PIPE, 200 PSI, SDR-7CTS FOR LINE SIZE 4" - 12" PVC C900 DR 18 FOR LINE SIZE > 12" DIP IS REQUIRED. ANSI / AWWA C151 A21.51 AND THICKNESS ACCORDING TO ANSI / AWWA C150 A21.50 FOR PRESSURE CLASS 250. FLANGE PIPE OR VICTAULIC GROOVED PIPE SHALL BE PRESSURE CLASS 350. SANITARY SEWER: 1. SANITARY MANHOLES SHALL NOT EXCEED 350-FOOT SPACING. 2. PIPE DIAMETER SHALL BE A MINIMUM OF 8 INCHES. 3. MINIMUM SIZE OF SANITARY LATERAL IS 4 INCHES. 4. LATERALS SHALL CONNECT DIRECTLY TO THE MANHOLE WHEN POSSIBLE, ENTERING AT AN ANGLE OF AT LEAST 90 DEGREES TO THE DIRECTION OF FLOW. 5. RESIDENTIAL SEWER LATERALS SHALL BE INSTALLED WITHIN 15 FEET OF THE PROPERTY CORNER. 6. SANITARY SEWER CLEANOUTS SHALL BE FLOOR PROOFED AND DESIGNED TO PREVENT INFILTRATION OF FLOOD WATERS INTO THE SYSTEM. 7. USE WATER TIGHT MANHOLE RINGS AND COVERS WITHIN OR BELOW BASE FLOOR ELEVATION + 1'. 8. CLEANOUTS SHALL BE PROVIDED EVERY 100' AND AT THE BENDS. CLEANOUTS LOCATED WITHIN THE PAVEMENT SHALL BE TRAFFIC RATED. 9. MANHOLES SHALL NOT BE PLACED IN SIDEWALKS UNLESS APPROVED BY THE CITY OF POOLER. 10. PIPE MATERIAL: • SDR 26 PVC SEWER PIPE MEETING THE REQUIREMENTS OF ASTM D3034 FOR PIPES 15" AND SMALLER AND ASTM 6679 FOR 18" AND LARGER. • DIP MANUFACTURED IN ACCORDANCE WITH ANSI A21.51 WITH THICKNESS ACCORDING TO ANSI A21.50. 11. MAINTAIN A MINIMUM COVER OF 3 FEET. 12. DROP MANHOLES ARE REQUIRED WHEN THE "INVERT IN" IS 2.0 FEET OR MORE ABOVE THE "INVERT OUT". THE MH MUST BE A 6' DIAMETER PRECAST MH AND CONFORM TO ASTM C478. THE DROP PIPE SHALL BE THE SAME SIZE AS THE INFLUENT PIPE. ALL HARDWARE ON DUCTILE IRON PIPING ASSOCIATED WITH DROP MANHOLES MUST BE STAINLESS STEEL. 13. SANITARY SEWER LINE - MINIMUM SLOPE: 4" 1.00% 8" 0.40% 12" 0.28% 15" 0.22% 18" 0.17% 21" 0.15% 24" 0.12% 27" 0.10% 30" 0.08% 33" 0.06% 36" 0.05% 42" 0.04%

DEMOLITION AND EXISTING CONDITIONS NOTES

1. THE CONTRACTOR SHALL PROVIDE THREE WORKING DAYS NOTICE TO THE UTILITIES PROTECTION CENTER BY CALLING 811 IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. 3. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BARRIERS & WARNINGS TO LIMIT ACCESS TO PROJECT AREA TO ONLY THOSE PERSONNEL AUTHORIZED BY THE CONTRACTOR. SAFE PASSAGE SHALL BE MAINTAINED FOR PEDESTRIANS TO AREAS ADJACENT TO THE PROJECT SITE AS REQUIRED. 4. ALL ITEMS REMOVED OR DEMOLISHED BY THE CONTRACTOR, WHICH ARE NOT LISTED BY THE SPECIAL PROVISIONS, OR HEREIN, TO BE TURNED OVER TO THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY FOR PROPER DISPOSAL. 5. DEMOLITION ACTIVITIES ARE NOT EXPECTED TO INCLUDE THE REMOVAL OF HAZARDOUS MATERIALS. IN THE EVENT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED OR SUSPECTED, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF THE MATERIAL AND LOCATION. 6. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO SCHEDULE ALL UTILITY & SERVICE INTERRUPTIONS TO OCCUPIED PORTIONS OF THE SITE. 7. CONTRACTOR SHALL REMOVE TREES AS INDICATED ON CIVIL PLANS. CONTRACTOR SHALL USE CAUTION DURING ALL CONSTRUCTION ACTIVITIES TO PROTECT ALL TREES, SHRUBS AND OTHER VEGETATION THAT ARE NOT INDICATED TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE CLEAN-UP, CLEARING AND GRUBBING PER SPECIFICATIONS. ALL TREES THAT HAVE A MARKETABLE VALUE SHALL BE SALVAGED. CONTRACTOR SHALL COORDINATE WITH OWNER AS TO THE TREES TO BE RELOCATED OR SOLD. 8. ALL TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED WITH TREE PROTECTION FENCING AS INDICATED ON THE CIVIL PLANS PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE. NO ABOVE OR BELOW-GROUND DISTURBANCE OF ANY KIND SHALL OCCUR WITHIN THE TREE PROTECTION FENCING, NOR ANY PARKING, STOCK-PILING, BURNING ETC. SEE PLANS FOR TREE PROTECTION FENCING. 9. REQUIRED DEMOLITION IS NOTED ON PLANS, SECTIONS AND DETAILS. ADDITIONAL DEMOLITION AND REPAIR MAY BE REQUIRED. FAILURE TO NOTE SUCH WORK SHALL NOT BE THE BASIS FOR CONTRACT MODIFICATIONS OR ADDITIONS. 10. WHERE ASPHALT OR CONCRETE DEMOLITION IS REQUIRED, CONTRACTOR SHALL USE A SAW CUT AT THE LIMITS OF DEMOLITION OR NEAREST JOINT TO OBTAIN A CLEAN EDGE. 11. AT THE END OF EACH DAY'S WORK, REMOVE ANY DEBRIS (RESULTING FROM CONTRACTOR'S DEMOLITION OPERATIONS) THAT IS NOT WITHIN THE CONTRACTOR CONSTRUCTION LIMITS. 12. ALL PROPOSED AND EXISTING PAVEMENT AND CURB TO REMAIN SHALL BE PROTECTED. IF DAMAGED, IT SHALL BE REPLACED OR REPAIRED PROMPTLY TO MEET STATE AND LOCAL REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. 13. CONTRACTOR IS REQUIRED TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES.

SITE LAYOUT AND STAKING NOTES

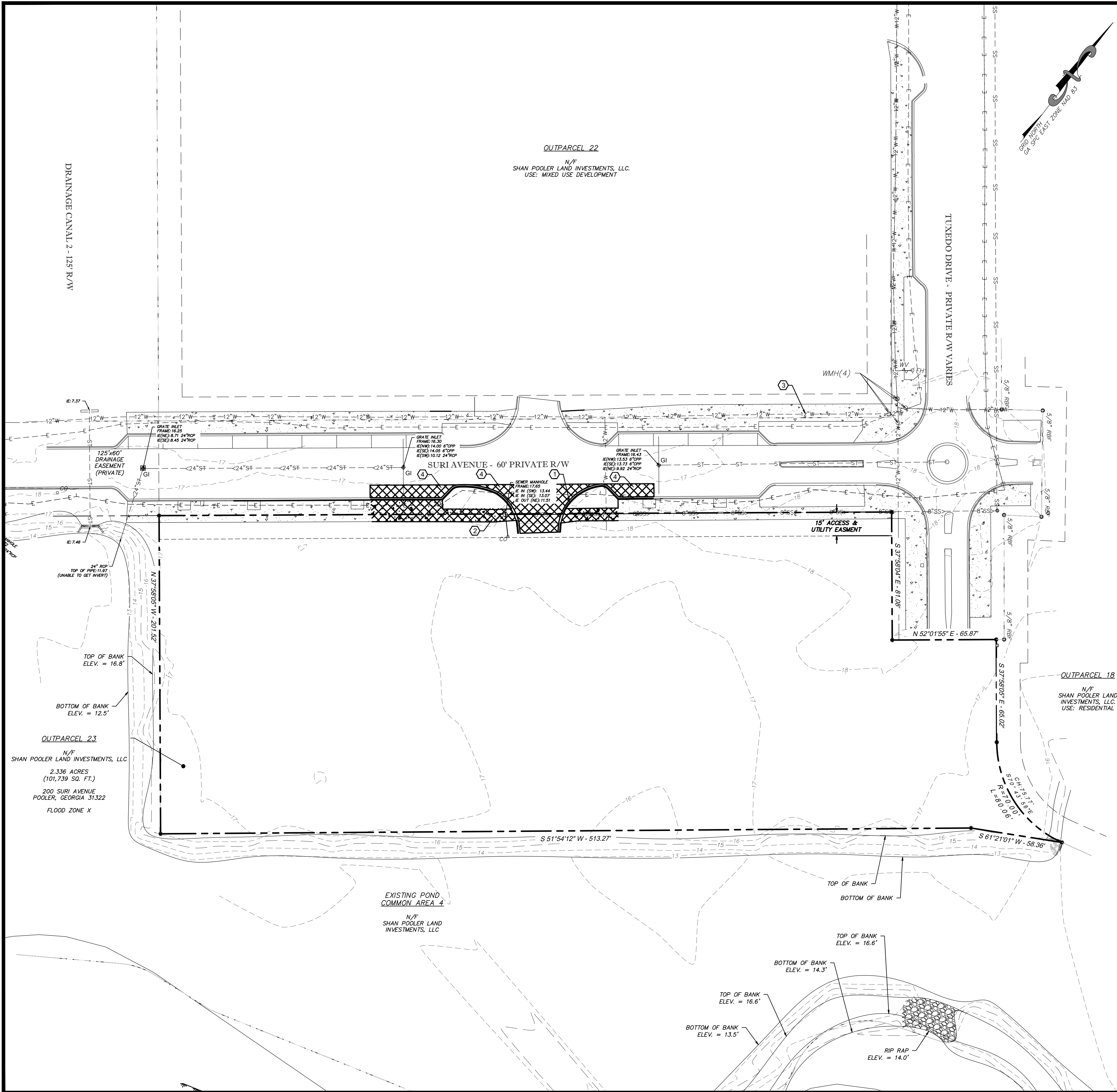
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK AND SHALL BE RESPONSIBLE FOR THE PROPER FIT OF ALL COMPONENTS. SOME DIMENSIONS AND CONDITIONS MAY VARY. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, BUFFERS, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION. 3. CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS. 4. ALL DIMENSIONS ARE MEASURED TO BACK OF CURB WHERE CURB & GUTTER IS PRESENT. ALL OTHER DIMENSIONS ARE MEASURED TO EDGE OF PAVEMENT UNLESS NOTED OTHERWISE. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECTURAL PLANS AS TO THE BUILDING LAYOUT AND DIMENSIONS. 5. ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL HAVE A SMOOTH TRANSITION TO EXISTING PAVEMENT. 6. ALL SIGNS AND UTILITY MARKERS REMOVED/DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED UNLESS NOTED OTHERWISE ON PLANS. 7. ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS INCLUDING HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES SHALL CONFORM WITH THE AMERICANS WITH DISABILITY ACT DESIGN GUIDELINES AND SPECIFICATIONS, LATEST EDITION, AND ANY ADDITIONAL FEDERAL, STATE, AND LOCAL CODES, REQUIREMENTS, AND REGULATIONS. 8. ALL PARKING STRIPING SHALL BE 4" PAINTED WHITE UNLESS NOTED OTHERWISE. ALL PAINT TO BE WATERBORNE TRAFFIC PAINT THAT IS ENVIRONMENTALLY FRIENDLY. 9. ALL STRIPING AND SIGNS SHALL CONFORM WITH THE STATE'S DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

GRADING AND DRAINAGE NOTES

1. ALL SUITABLE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES & COMPACTED TO 98% OF MAX. DRY DENSITY OF STANDARD PROCTOR. 2. FILL MATERIAL SHALL BE CLEAN AND FREE OF ALL DEBRIS AND ORGANIC MATERIAL. 3. CONTRACTOR TO FILL AND/OR EXCAVATE AS REQUIRED FOR INSTALLATION OF ALL PROPOSED FEATURES. FINAL GRADES SHALL BE FLUSH WITH EDGE OF ASPHALT, SIDEWALK, AND/OR BACK OF CURB AND GRADED TO ENSURE POSITIVE DRAINAGE. PONDING OF STORMWATER SHALL NOT OCCUR. 4. ADJUST ALL TOP OF STRUCTURES ELEVATIONS (MANHOLES, CLEANOUTS, VALVE BOXES, ETC.) TO FINISH GRADE ELEVATIONS. FAILURE TO NOTE SUCH WORK SHALL NOT BE THE BASIS FOR CONTRACT MODIFICATIONS OR ADDITIONS. 5. ALL PROPOSED AND EXISTING PAVEMENT AND CURB TO REMAIN SHALL BE PROTECTED. IF DAMAGED, IT SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. 6. CARE SHALL BE TAKEN NEAR EXISTING TREES, SHRUBS, AND OTHER VEGETATION WHICH ARE TO REMAIN SO AS TO NOT CAUSE INJURY TO ROOT SYSTEMS OR TRUNKS. 7. AT THE END OF EACH DAY'S WORK, REMOVE ANY DEBRIS, MATERIAL, ETC. (RESULTING FROM CONTRACTOR'S GRADING OPERATIONS) THAT IS NOT WITHIN THE CONTRACTOR CONSTRUCTION LIMITS. 8. ALL DISTURBED AREAS OF THE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES. 9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SITE IS ADA ACCESSIBLE AS REQUIRED BY FEDERAL, STATE AND LOCAL GOVERNMENT. 10. FINISH GRADE ELEVATIONS INDICATE EDGE OF PAVEMENT/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. 11. REFER TO DETAILS FOR PAVEMENT TYPICAL SECTION. 12. SITE SHALL BE GRADED UNIFORMLY FOR POSITIVE DRAINAGE AS SHOWN FROM THE PROPOSED ELEVATIONS, CONTOURS, AND THE DRAINAGE SLOPE ARROWS. 13. MAXIMUM SIDEWALK CROSS SLOPE IS 2%. MAXIMUM LONGITUDINAL SLOPE ALONG AN ACCESSIBLE SIDEWALK IS 5%. MAXIMUM PAVEMENT SLOPE IN HANDICAP PARKING AREA AND ACCESS AISLE IS 2% IN ANY DIRECTION. MAXIMUM HANDICAP RAMP SLOPE IS 12H:1V.

Project information block including: DATE, REVISION DESCRIPTION, NO., GENERAL NOTES AND LEGEND, PARCEL 23 - HOTEL MOSAIC TOWN CENTER POOLER, CHATHAM COUNTY, GEORGIA, Prepared for: SHAN POOLER, PROJECT NO.: 25-2043.01, DRAWN BY: ARF, DESIGNED BY: CPR, SURVEYED BY: EMC, SURVEY DATE: 11/07/2024, CHECKED BY: CPR, SCALE: N/A, DATE: 02/13/2026, SHEET 2 OF 23.

25-2043.01 MOSAIC TC PARCEL 23\DWG125-2043.01_C-B01 MOSAIC TC - HOTEL.DWG 2/13/2026 9:52 AM



FLOODPLAIN NOTES
 THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "X" AS PER FLOOD INSURANCE RATE MAP FOR POOLER AS SHOWN ON MAP NUMBER 13051C0109G, WITH AN EFFECTIVE DATE OF 08/16/2018. ZONE "X" DENOTES AREAS NOT IN A SPECIAL FLOOD HAZARD AREA.

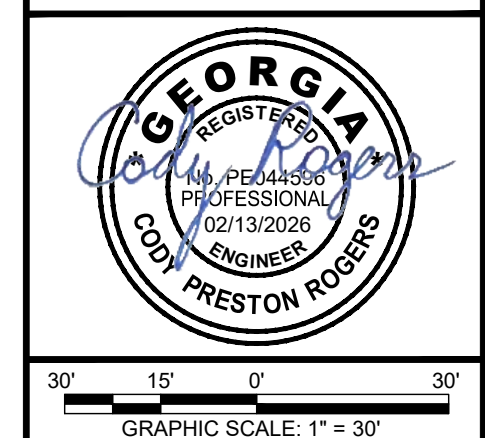
WETLAND NOTES
 THERE ARE NO WETLANDS ON THIS SITE AS SHOWN ON THE NATIONAL WETLANDS INVENTORY.

STATE WATER NOTES
 THERE ARE NO STATE WATERS ON THIS SITE.

DEMOLITION PLAN SPECIAL NOTES

①	REMOVE EXISTING CURB AND GUTTER
②	SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SIDEWALK
③	EXISTING 12" PVC WATER MAIN
④	REMOVE EXISTING PAVEMENT

NO.	REVISION DESCRIPTION	DATE



EMC ENGINEERING SERVICES, INC.

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EXISTING CONDITIONS AND DEMOLITION PLAN

PARCEL 23 - HOTEL
 MOSAIC TOWN CENTER
 POOLER, CHATHAM COUNTY, GEORGIA

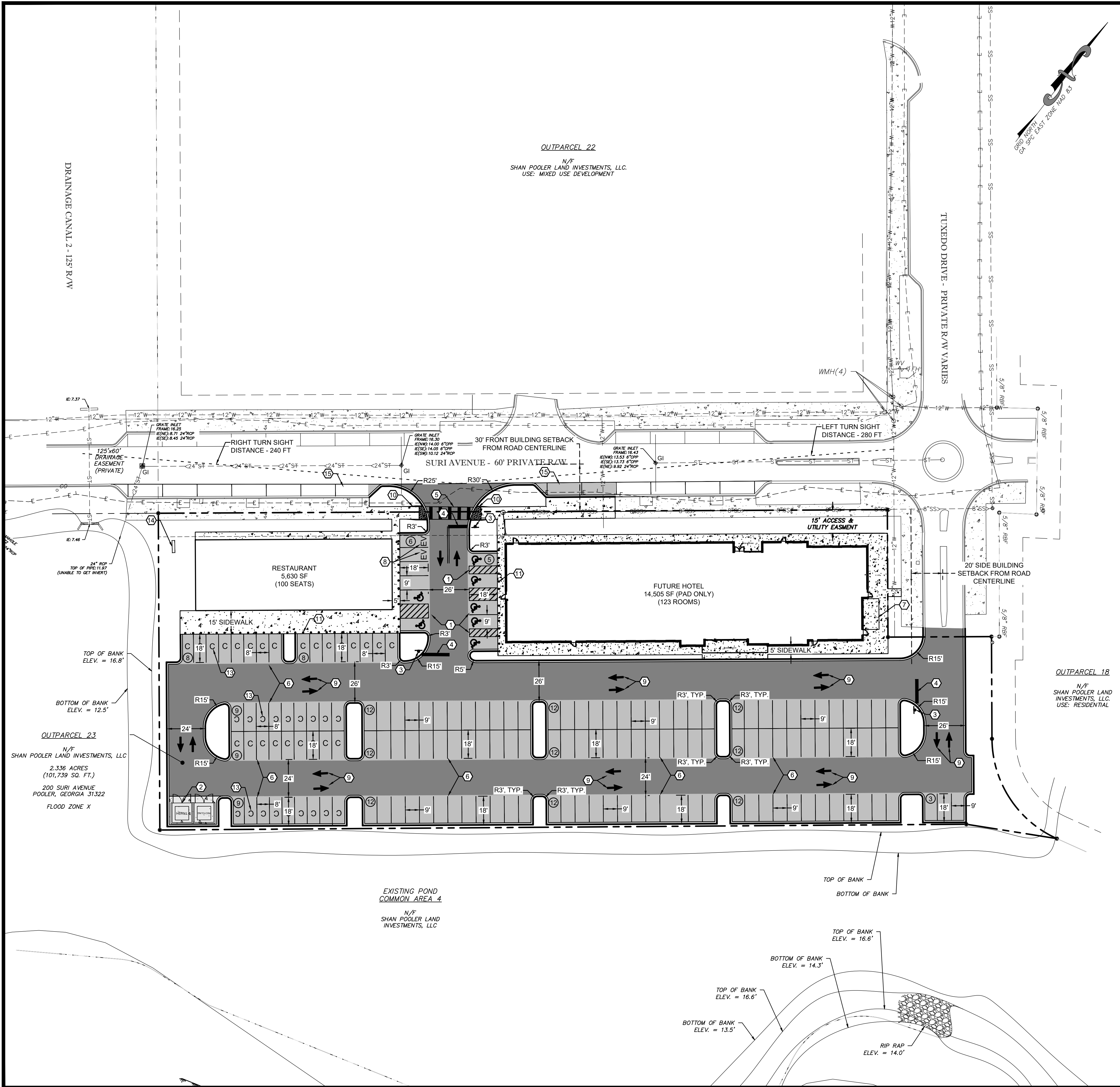
Prepared for:
SHAN POOLER

PROJECT NO.:	25-2043.01
DRAWN BY:	ARF
DESIGNED BY:	CPR
SURVEYED BY:	EMC
SURVEY DATE:	11/07/2024
CHECKED BY:	CPR
SCALE:	1" = 30'
DATE:	02/13/2026

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SITE NOTES:

PROJECT DESCRIPTION	THE SUBJECT SITE CONSISTS OF A CLEARED PARCEL IN THE MOSAIC TOWN CENTER DEVELOPMENT, LYING ON 1 PARCEL OF LAND. IT IS THE INTENTION OF THE OWNER TO CONSTRUCT A HOTEL AND RESTAURANT WITH ASSOCIATED SITE IMPROVEMENTS.	
PROPERTY DESCRIPTION	200 SURI AVENUE POOLER, GA 31322 PIN: PORTION OF 51009 01007	
AREA	PROPERTY AREA	2,336-ACRES
	DISTURBED AREA	2.45-ACRES
	IMPERVIOUS AREA	2.01-ACRES
BUILDING HEIGHT	MAX. ALLOWABLE	125-FT
	PROPOSED HOTEL	53' - 4 7/8"
	PROPOSED RESTAURANT	TBD
BUILDING ELEVATION	PROPOSED	PUD
ZONING	EXISTING	PUD
	PROPOSED	PUD
SETBACKS	FRONT SETBACK:	30-FT FROM CENTERLINE OF RIGHT OF WAY
	SIDE SETBACK:	20-FT FROM CENTERLINE OF RIGHT OF WAY
	REAR SETBACK:	15-FT FROM CENTERLINE OF RIGHT OF WAY

OFF STREET PARKING NOTES:

REQUIRED PARKING	1 SPACE PER HOTEL ROOM 1 SPACE PER 4 RESTAURANT SEATS
REQUIRED PARKING DESIGN CONSTRAINT	HOTEL ROOMS: 123 RESTAURANT: 100 SEATS
REQUIRED PARKING CALCULATION	123 ROOMS * 1 SPACE = 123 SPACES 100 SEATS * (1 SPACE PER 4 SEATS) = 25 SPACES 123 SPACE + 25 SPACES = 148 SPACES TOTAL
PARKING PROVIDED	43 8-FT WIDE COMPACT SPACES 115 9-FT WIDE REGULAR SPACES 7 9-FT WIDE ADA SPACES 165 TOTAL SPACES

HATCH LEGEND:

	EXISTING ASPHALT PAVEMENT		EXISTING CONCRETE PAVEMENT
	PROPOSED ASPHALT		DUMPSTER PAD
	PROPOSED CONCRETE SIDEWALK		

SITE PLAN SPECIAL NOTES:

①	ADA HANDICAP PARKING STALLS AND LOADING ZONE, PAINTED BLUE
②	DUMPSTER ENCLOSURE
③	R1-1 "STOP SIGN"
④	24" SOLID STOP BAR
⑤	8' WIDE CROSSWALK, PAINTED WHITE
⑥	4" SOLID PARKING STRIPE, PAINTED WHITE
⑦	HVAC COMPRESSORS LOCATION
⑧	EV PARKING
⑨	DIRECTIONAL ARROWS, PAINTED WHITE
⑩	HANDICAP RAMP (TYPE D)
⑪	6" CONCRETE BOLLARDS SPACED 5'-6" ON CENTER (±53 TOTAL)
⑫	PROPOSED MONUMENT SIGN (TO BE DESIGNED AND PERMITTED BY OTHERS)
⑬	COMPACT PARKING SPACE, TYP.
⑭	MONUMENT SIGN - TO BE DESIGNED BY OTHERS
⑮	18" PITCHED CURB AND GUTTER

NO.	REVISION DESCRIPTION	DATE

EMC ENGINEERING SERVICES, INC.
 REGISTERED PROFESSIONAL ENGINEER
 02/13/2026
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SITE PLAN
PARCEL 23 - HOTEL
 MOSAIC TOWN CENTER
 POOLER, CHATHAM COUNTY, GEORGIA
 Prepared for:
SHAN POOLER

PROJECT NO.:	25-2043.01
DRAWN BY:	ARF
DESIGNED BY:	CPR
SURVEYED BY:	EMC
SURVEY DATE:	11/07/2024
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PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
TREES					
AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2'-2.5" CAL.	AS SHOWN	6
CV	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	2" CAL.	AS SHOWN	2
IO	ILEX OPACA	AMERICAN HOLLY	2" CAL.	12" O.C.	9
JVB	JUNIPERUS VIRGINIANA 'BRODIE'	BRODIE EASTERN REDCEDAR	2" CAL.	10" O.C.	7
MGS	MAGNOLIA VIRGINIANA 'GREEN SHADOW'	GREEN SHADOW SWEETBAY MAGNOLIA	2" CAL.	AS SHOWN	6
QVH	QUERCUS VIRGINIANA 'HIGHRISE'	HIGHRISE LIVE OAK	2'-2.5" CAL.	AS SHOWN	1
TD	TAXODIUM DISTICHUM	BALD CYPRESS	2" CAL.	AS SHOWN	4
UAP	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2'-2.5" CAL.	AS SHOWN	4
SHRUBS					
CJ	CLEYERA JAPONICA	JAPANESE CLEYERA	7 GAL.	5" O.C.	3
ICC	ILEX CORNUTA 'CARISSA'	CARISSA CHINESE HOLLY	3 GAL.	3" O.C.	24
IGS	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	3 GAL.	3" O.C.	21
PTM	PITTIOSPORUM TOBIRA 'MOJO'	DWARF VARIATED PITTIOSPORUM	3 GAL.	3" O.C.	14
PMP	PODOCARPUS MACROPHYLLUS 'PRINGLES'	PRINGLES DWARF YEW PODOCARPUS	3 GAL.	3" O.C.	16
RK	ROSA 'X RADTOKO'	DOUBLE KNOCK OUT ROSE	3 GAL.	3.5" O.C.	5
VOD	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	MRS. SCHILLER'S DELIGHT WALTER'S VIBURNUM	3 GAL.	3" O.C.	16
GROUND COVERS					
ANN	(VARIES)	ANNUALS	6" CONT.	1" O.C.	100
HH	HEMEROCALLIS HYBRIDA	EVERGREEN DAYLILY	1 GAL.	2" O.C.	38
LNG	LANTANA 'X NEW GOLD'	NEW GOLD LANTANA	1 GAL.	2.5" O.C.	32
LMB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	2" O.C.	24
MUC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.	3" O.C.	67

LANDSCAPE NOTES:

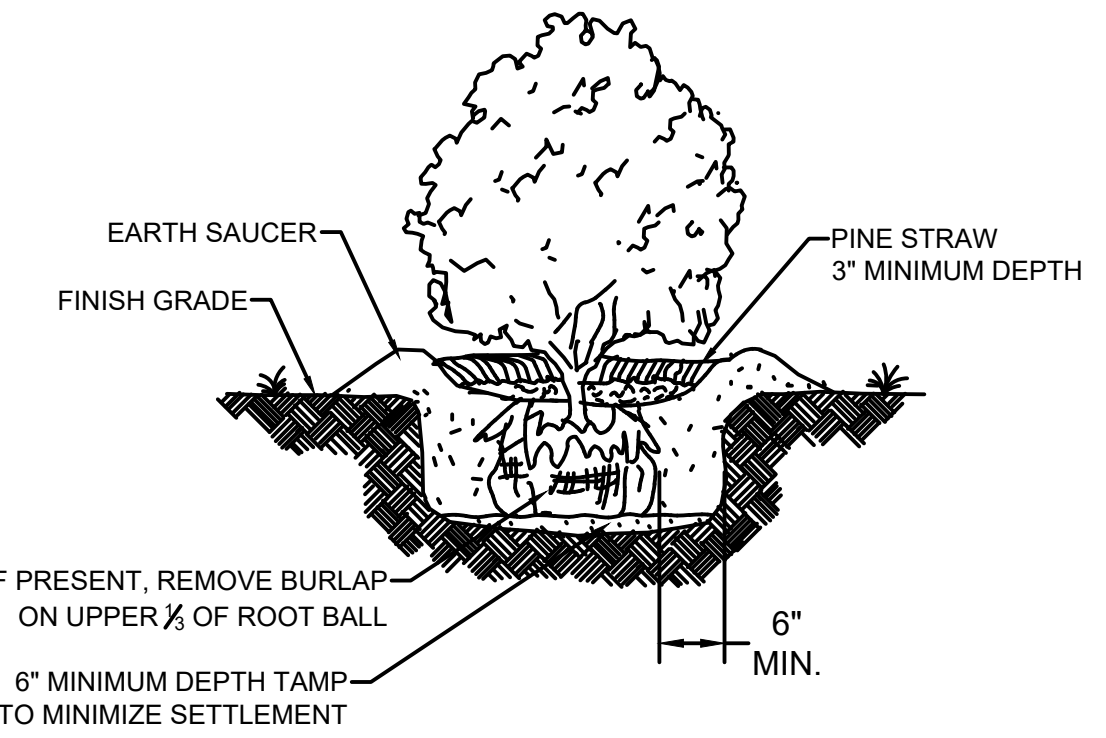
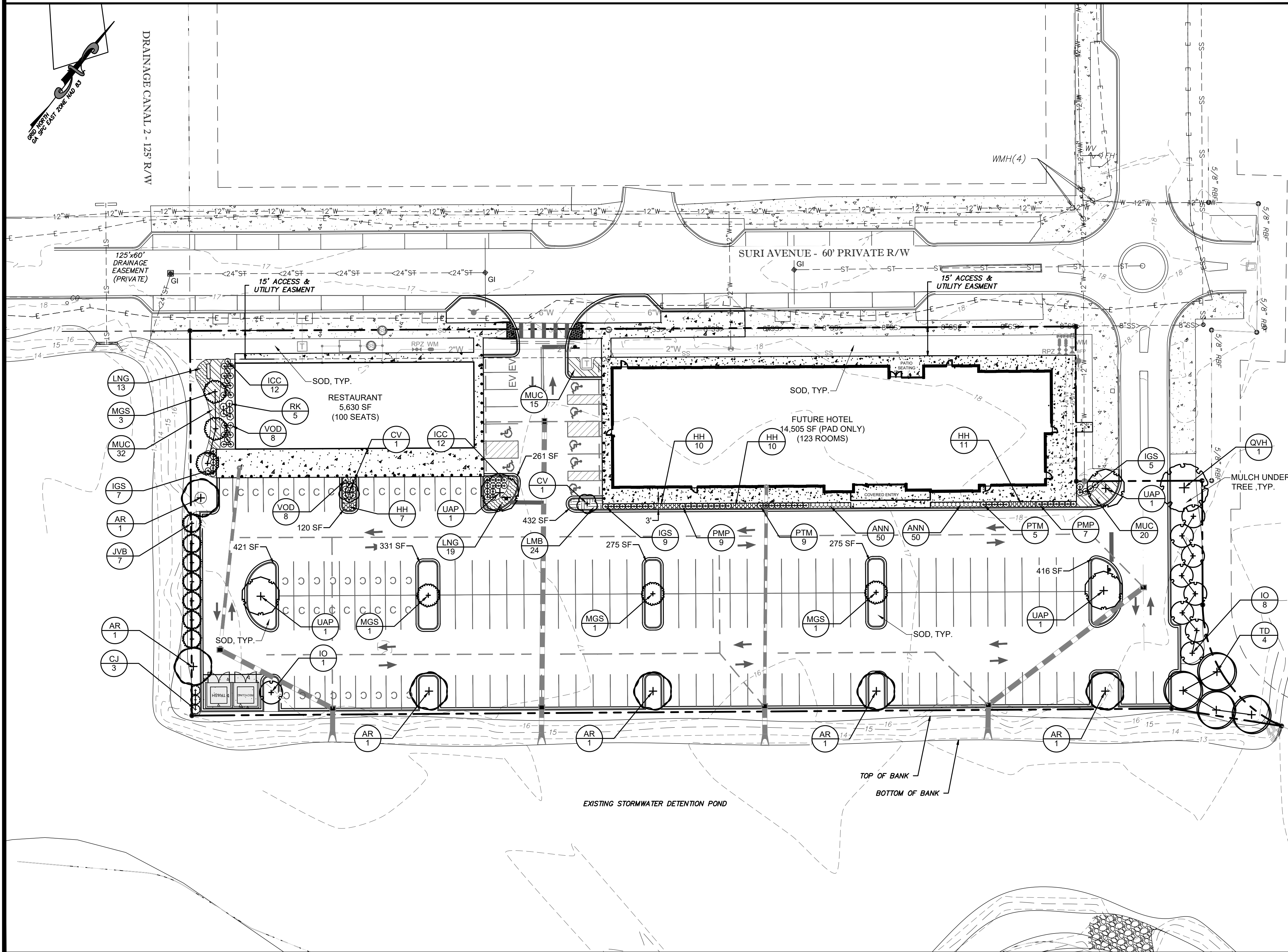
- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING, OR LANDSCAPING SHALL BE GRASSED BY BERMUDA SOD/SEED. OWNER WILL DETERMINE EXTENT OF SODDING VS. SEEDING. THE CONTRACTOR WILL UTILIZE EXISTING GRASS WHENEVER POSSIBLE.
- ALL PLANT BEDS SHALL BE MULCHED WITH 3" OF PINE STRAW.
- NO LARGE TREES SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO BEGINNING PLANT INSTALLATION. LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING.
- SEE DETAILS ON THIS SHEET FOR SHRUB AND TREE INSTALLATION.
- TOP SOIL SHALL BE ADDED TO WITHIN 1" OF TOP OF CURB / EDGE OF PAVEMENT.
- AN UNDERGROUND IRRIGATION SYSTEM, IF INSTALLED, SHALL COMPLY WITH ALL THE REQUIREMENTS AND REGULATIONS OF THE CITY AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
- QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN TAKEOFF.
- ALL PROPOSED TREES SHALL MEET THE SPECIFICATIONS OF AMERICAN ASSOCIATION OF NURSERYMAN STANDARD FOR NURSERY STOCK (ANSI Z80.1) LATEST EDITION.
- GUARANTEE:**
THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.
- NO IRRIGATION, TREES, AND BUSHES SHALL BE PLANTED INSIDE THE 15-FT ACCESS UTILITY EASEMENT.

LANDSCAPE REQUIREMENTS

TREE REPLACEMENT:
 REQUIREMENT: 15 PREFERRED TREES PER 1 ACRE DISTURBED LAND
 DISTURBED AREA: 2.55 AC
 TREES REQUIRED: 39 (2.55 AC X 15 TREES)
TREES PROPOSED:
 LARGE TREES: 9 (23%)
 MEDIUM TREES: 22 (56%)
 SMALL TREES: 8 (21%)

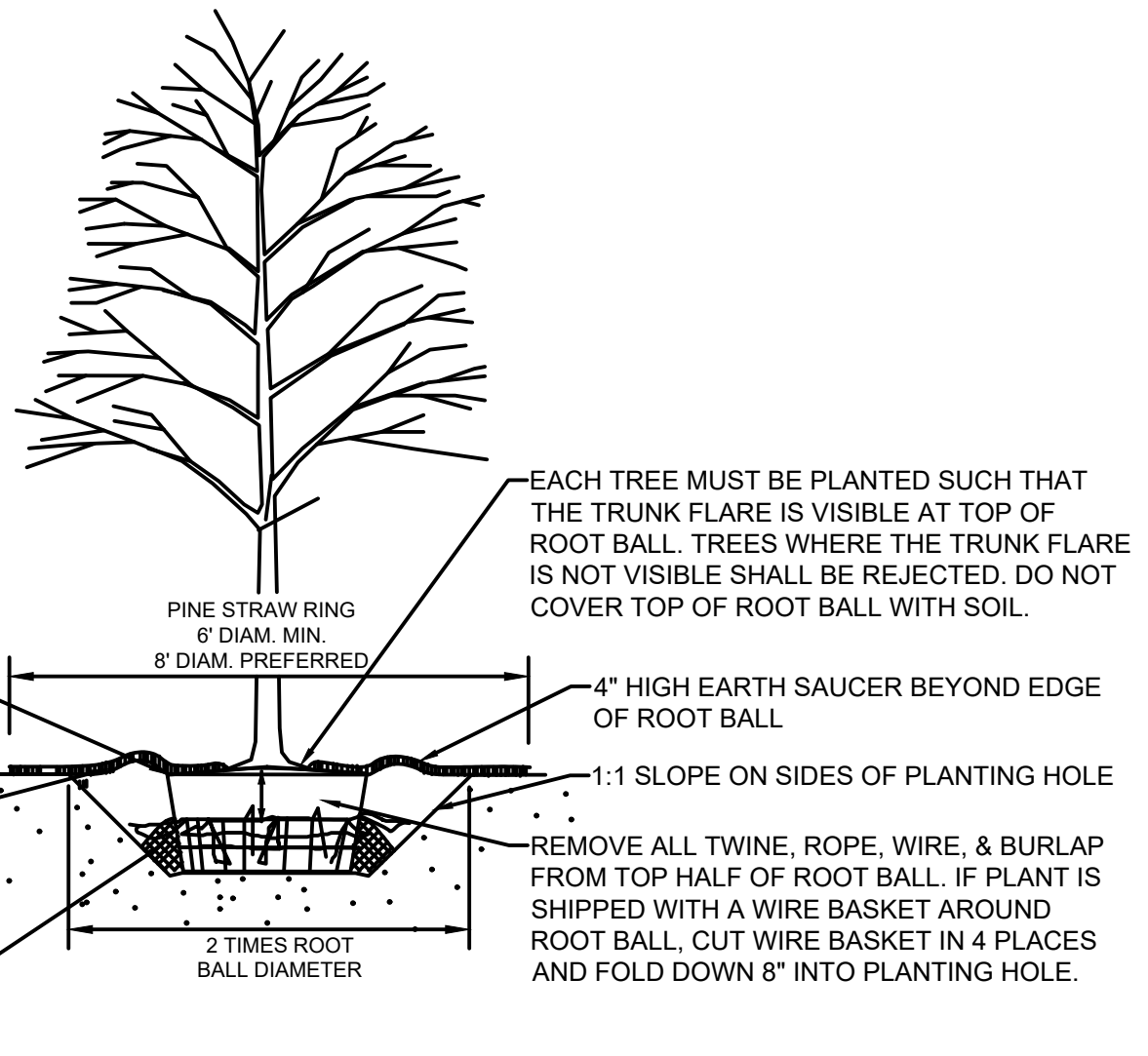
PARKING LOT ISLANDS:
 REQUIREMENT: 1 LARGE TREE PER 500 SF OR 1 MEDIUM TREE PER 300 SF. SEE PLAN FOR PARKING LOT ISLAND SIZES.

TREE SPECIES DIVERSITY:
 PER SECTION 42-198 IN THE POOLER TREE ORDINANCE: NO MORE THAN 30% OF TREES PLANTED SHALL BE FROM THE SAME SPECIES AND NO MORE THAN 30% OF ALL TREES PLANTED SHALL BE FROM THE SMALL TREE SPECIES CATEGORY.



- NOTES**
- CLEANLY PRUNE ONLY DAMAGED, DISEASED, AND / OR WEAK BRANCHES IF NECESSARY.
 - FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.

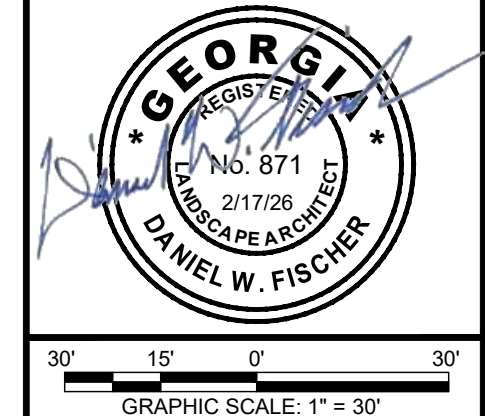
SHRUB PLANTING
NOT TO SCALE



TREE PLANTING
NOT TO SCALE

- NOTES**
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

NO.	REVISION DESCRIPTION	DATE



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LANDSCAPE PLAN
PARCEL 23 - HOTEL
 MOSAIC TOWN CENTER
 POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:
SHAN POOLER

PROJECT NO.:	25-2043.01
DRAWN BY:	SRT
DESIGNED BY:	SRT
SURVEYED BY:	EMC
SURVEY DATE:	11/07/2024
CHECKED BY:	DWF
SCALE:	1" = 30'
DATE:	02/17/2026



T: 125-2043.01 MOSAIC TC PARCEL 23 (DMS) 25-2043.01 C-B01 MOSAIC TC - HOTELING 2/17/2026 9:47 AM

GENERAL ES&P CONTROL NOTES

PROJECT NAME: PARCEL 23 - HOTEL ADDRESS: MOSAIC TOWN CENTER CITY/COUNTY: POOLER, CHATHAM COUNTY, GEORGIA DATE ON PLANS: FEBRUARY 13, 2026

- 1. STANDARDS AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, SEVENTH EDITION".
2. EROSION CONTROL PROGRAM: CLEARING WILL BE KEPT TO AN ABSOLUTE MINIMUM. VEGETATION AND MULCH WILL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER EXCAVATION IS COMPLETED. LAND-DISTURBING WILL BE SCHEDULED TO LIMIT EXPOSURE OF BARE SOILS TO EROSION ELEMENTS. STORM WATER MANAGEMENT STRUCTURES WILL BE EMPLOYED TO PREVENT EROSION IN AREAS OF CONCENTRATED WATER FLOWS.
3. SEDIMENT CONTROL PROGRAM: SEDIMENT CONTROL WILL BE ACCOMPLISHED BY INSTALLING BEST MANAGEMENT PRACTICES THAT ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. PLANS HAVE BEEN PHASED INTO INITIAL SEDIMENT STORAGE AND PERIMETER CONTROL BMP'S, INTERMEDIATE GRADING AND DRAINAGE BMP'S AND FINAL BMP'S. ALL BMP'S HAVE BEEN LABELED ON PLANS USING THE UNIFORM CODING SYMBOLS FROM THE MANUAL. (SEE LEGEND)
4. MAINTENANCE PROGRAM: SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED DAILY. ANY DAMAGES OBSERVED WILL BE REPAIRED BY THE END OF THAT DAY. CLEANOUT OF SEDIMENT CONTROL STRUCTURES WILL BE ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND SEDIMENT DISPOSAL ACCOMPLISHED BY SPREADING ON THE SITE. SEDIMENT BARRIERS WILL REMAIN IN PLACE UNTIL SEDIMENT CONTRIBUTING AREAS ARE STABILIZED. THE SEDIMENT BARRIERS WILL THEN BE REMOVED AND THE AREAS OCCUPIED BY THESE AREAS WILL THEN BE VEGETATED. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER.

CHECKLIST ES&P NOTES

- 1. THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED. THIS WILL BE A STAND ALONE CHECKLIST EFFECTIVE JANUARY 1, 2025. NAME & EMAIL OF PERSON FILLING OUT CHECKLIST: CODY ROGERS, PE cody_rogers@emc-eng.com
2. LEVEL II CERTIFICATION NUMBER ISSUED BY THE COMMISSION, SIGNATURE AND SEAL OF THE CERTIFIED DESIGN PROFESSIONAL.



Signature: Cody Rogers

- 3. LIMITS OF DISTURBANCE SHALL BE LESS THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE GAEPD DISTRICT OFFICE. IF GAEPD APPROVES THE REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE AT LEAST 4 OF THE BMP'S LISTED IN APPENDIX 1 OF THIS CHECKLIST AND THE GAEPD APPROVAL LETTER. LIMITS OF DISTURBANCE: 2.63 ACRES
4. THE NAME AND PHONE NUMBER OF THE 24-HOUR LOCAL CONTACT RESPONSIBLE FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS. 24 HOUR CONTACT INFORMATION: EMC ENGINEERING SERVICES, INC. CODY ROGERS, PE 1211 MERCHANT WAY, SUITE 201 STATESBORO, GEORGIA 30458 (912) 644-32190 cody_rogers@emc-eng.com
5. PROVIDE THE NAME, ADDRESS, EMAIL ADDRESS, AND PHONE NUMBER OF THE PRIMARY PERMITTEE. 24 HOUR CONTACT INFORMATION OF OWNER/PRIMARY PERMITTEE. DJ Desai djdesai@hdcmanagement.com

- 6. NOTE TOTAL AND DISTURBED ACREAGE OF THE PROJECT OR PHASE UNDER CONSTRUCTION. THE TOTAL AREA OF THIS PROJECT IS ±2.336 ACRES. THE TOTAL DISTURBED AREA FOR THIS PROJECT IS ±2.63 ACRES.
7. PROVIDE THE GPS LOCATION OF THE CONSTRUCTION EXIT FOR THE SITE. GIVE THE LATITUDE AND LONGITUDE IN DECIMAL DEGREES. CONSTRUCTION EXIT #1 LATITUDE: N032.076974 LONGITUDE: W081.275255 CONSTRUCTION EXIT #2 LATITUDE: N032.076956 LONGITUDE: W081.276250

- 8. INITIAL DATE OF THE PLAN AND THE DATES OF ANY REVISIONS MADE TO THE PLAN INCLUDING THE ENTITY WHO REQUESTED THE REVISIONS. INITIAL DATE OF THE PLAN IS FEBRUARY 13, 2026. SEE INDIVIDUAL SHEET REVISION BLOCK FOR CHANGES.

- 9. DESCRIPTION OF THE NATURE OF CONSTRUCTION ACTIVITY AND EXISTING SITE CONDITIONS. DESCRIPTION: THE PROJECT IS LOCATED ON MOSAIC TOWN CENTER PARCEL 23 IN POOLER, GEORGIA. THE PROJECT SITE IS CURRENTLY IN A CLEARED LOT. THE PROJECT WILL CONSIST OF CONSTRUCTING A HOTEL AND RESTAURANT WITH THE ASSOCIATED PARKING, UTILITIES, & STORMWATER INFRASTRUCTURE. VEGETATION: THE SITE CONSISTS OF A UNDEVELOPED SITE WITH A CLEARED LOT.

- 10. PROVIDE VICINITY MAP SHOWING SITE'S RELATION TO SURROUNDING AREAS. INCLUDE DESIGNATION OF SPECIFIC PHASE, IF NECESSARY. SEE COVER FOR VICINITY MAP.

- 11. IDENTIFY THE PROJECT RECEIVING WATERS AND DESCRIBE ALL SENSITIVE ADJACENT AREAS INCLUDING STREAMS, LAKES, RESIDENTIAL AREAS, WETLANDS, MARSHLANDS, ETC. WHICH MAY BE AFFECTED. RECEIVING WATERS: INITIAL RECEIVING WATER(S) IS AN UNNAMED LAKE THAT DRAINS INTO THE SAVANNAH & OGEECHEE CANAL, WHICH SUPPORTS WARM WATER FISHERIES. SENSITIVE AREAS: LAKE ADJACENT PROPERTY: NORTH: SURF AVENUE EAST: TUXEDO DRIVE SOUTH: LAKE WEST: LAKE

- 12. DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE SITE WAS VISITED PRIOR TO DEVELOPMENT OF THE ES&P PLAN AS STATED ON PART IV PAGE 19 OF THE PERMIT. I CERTIFY, UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION. Cody Rogers GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL

- 13. DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE PERMITTEE'S ES&P PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BMP'S AND SAMPLING TO MEET PERMIT REQUIREMENTS AS STATED ON PART IV PAGE 19 OF THE PERMIT. I CERTIFY, THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA," (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001. Cody Rogers GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL

- 14. CLEARLY NOTE THE STATEMENT THAT "THE DESIGN PROFESSIONAL WHO PREPARED THE ES&P PLAN IS TO INSPECT AND CERTIFY THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION." THE DESIGN PROFESSIONAL WHO PREPARED THE ES&P PLAN IS TO INSPECT AND CERTIFY THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMP'S HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE WITH 7 DAYS AND THE PRIMARY PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN 7 DAYS OF THE RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL PRIOR TO COMMENCING WITH CONSTRUCTION ACTIVITIES AS REQUIRED BY PART III.D.2 OF THE PERMIT UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED. PERMIT IV.A.5 PG 26 DESIGN PROFESSIONAL 7 DAY CERTIFICATION. DATE OF INSPECTION: I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE E.S.&P PLAN ON THE DATE OF INSPECTION GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION # INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&P CONTROL PLAN THESE DISCREPANCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED. AMENDMENTS/REVISIONS TO THE ES&P PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

- 15. CLEARLY NOTE THE STATEMENT THAT "NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS." NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN ANY REQUIRED 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS ACCORDING TO PART IV (1) AND (11) OF THE GENERAL PERMIT. PROVIDE A DESCRIPTION OF ANY BUFFER ENCROACHMENTS AND INDICATE WHETHER A BUFFER VARIANCE IS REQUIRED. THERE ARE NO BUFFER ENCROACHMENTS ON THIS PROJECT.

- 17. CLEARLY NOTE THE STATEMENT THAT "AMENDMENTS/REVISIONS TO THE ES&P PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL." AMENDMENTS/REVISIONS TO THE ES&P PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

- 18. CLEARLY NOTE THE STATEMENT THAT "WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT." WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

- 19. CLEARLY NOTE STATEMENT THAT "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES." THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

- 20. CLEARLY NOTE STATEMENT THAT "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE." EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

- 21. CLEARLY NOTE THE STATEMENT "ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING." ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. INDICATION THAT THE APPLICABLE PORTION OF THE PRIMARY PERMITTEE'S ES&P PLAN IS TO BE PROVIDED TO EACH SECONDARY PERMITTEE PRIOR TO THE SECONDARY CONDUCTING ANY CONSTRUCTION ACTIVITY AND THAT EACH SECONDARY SHALL SIGN THE PLAN OR PORTION OF THE PLAN APPLICABLE TO THEIR SITE. LIST THE NAMES AND ADDRESSES OF ALL SECONDARY PERMITTEES. SECONDARY PERMITTEES LISTED BELOW ACKNOWLEDGE THEY HAVE RECEIVED A COPY OF THE ES&P PLANS.

Table with columns: NAME, DATE, SIGNATURE

- 22. ANY CONSTRUCTION ACTIVITY WHICH DISCHARGES STORM WATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT MUST COMPLY WITH PART III. C. OF THE PERMIT. INCLUDE THE COMPLETED APPENDIX 1 LISTING ALL THE BMP'S THAT WILL BE USED FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO THE IMPAIRED STREAM SEGMENT." PROJECT DOES NOT DISCHARGE STORM WATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT

- 23. IF A TMDL IMPLEMENTATION PLAN FOR SEDIMENT HAS BEEN FINALIZED FOR THE IMPAIRED STREAM SEGMENT (IDENTIFIED IN ITEM 22 ABOVE) AT LEAST SIX MONTHS PRIOR TO SUBMITTAL OF NOI, THE ES&P PLAN MUST ADDRESS ANY SITE-SPECIFIC CONDITIONS OR REQUIREMENTS INCLUDED IN THE TMDL IMPLEMENTATION PLAN." THIS DOES NOT APPLY TO THIS PROJECT.

- 24. BMP'S FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND THE REAR OF THE VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED. CONCRETE WASHDOWN BMP LOCATION IS DENOTED ON PLANS AND DETAIL HAS ALSO BEEN PROVIDED.

- 25. PROVIDE BMP'S FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS. SOIL CLEANUP AND CONTROL PRACTICES: LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL. MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MAPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN OR SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802. FOR SPILLS OF AN UNKNOWN AMOUNT, THE NRC WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802. FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AN LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320 GALLONS OF PETROLEUM IS STORED ON-SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 600 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

- 26. DESCRIPTION OF THE MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. POST CONSTRUCTION POLLUTANT CONTROL MEASURES: EROSION SEDIMENTATION AND POLLUTION CONTROL MEASURES INSTALLED DURING THE CONSTRUCTION PROCESS, SHALL SERVE TO CONTROL POLLUTANTS ENTERING INTO THE STORM WATER SYSTEM AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THESE MEASURES SHALL INCLUDE RIP RAP AND GROUND COVER CONTROL MEASURES. TEMPORARY SEDIMENT STORAGE WILL BE PROVIDED IN THE INITIAL PHASE TO CAPTURE SEDIMENT BEFORE IT ESCAPES THE SITE. THE SILT FENCE PLACED ALONG THE PERIMETER OF THE SITE WILL PREVENT ANY SEDIMENT FROM ESCAPING THE PROJECT SITE. THE STORM WATER RELEASED WILL MAINTAIN PRE-DEVELOPMENT RUN-OFF RATES AS WELL AS FLOW PATTERNS. RIP RAP, LOCATED AT ALL OUTFALLS, SHALL PROVIDE A NON-EROSIVE FLOW SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS OF THE WATER COURSE ARE MAINTAINED AND PROTECTED (AS SUBJECT TO SECTION 404 OF THE FEDERAL CLEAN WATER ACT).

- 27. DESCRIPTION OF THE PRACTICES TO PROVIDE COVER FOR BUILDING MATERIALS AND BUILDING PRODUCTS ON SITE. FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (E.G. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER, OR A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).

- 28. DESCRIPTION OF THE PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES. HAZARDOUS WASTE - ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS SORTED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ES&P FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

- THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THE ES&P PLAN AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

- SANITARY WASTES: A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE UNITS WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.

- ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMP'S MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

- FERTILIZER/HERBICIDE - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPEC. OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

- PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

- BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ON-SITE. ALL SUCH MATERIALS WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

- POLLUTION CONTROL PROGRAM: WASTE MATERIAL SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. THE STORM WATER DETENTION AREA AND PERMANENT BMP'S SHALL HELP PREVENT ANY POLLUTANTS, THAT MAY HAVE DISCHARGED INTO THE STORM DRAINAGE SYSTEM, FROM ESCAPING THE SITE.

- WASTE MATERIALS - ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPLOYED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

- 29. DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURBS SOILS FOR THE MAJOR PORTIONS OF THE SITE (I.E., INITIAL PERIMETER AND SEDIMENT STORAGE BMP'S, CLEARING AND GRUBBING ACTIVITIES, EXCAVATION ACTIVITIES, UTILITY ACTIVITIES, TEMPORARY AND FINAL STABILIZATION).

Activity timeline chart with columns: ACTIVITY, MONTH 1, MONTH 2, MONTH 3, MONTH 4, MONTH 5, MONTH 6. Rows include CONSTRUCTION EXIT, SEDIMENT BARRIER, TEMP SED BASIN, MAINTENANCE OF ES&P BMPs, CLEARING AND GRUBBING, DEMO, GRADING, DUST CONTROL MULCHING, DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING), DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION), PAVING.

- 30. PROVIDE COMPLETE REQUIREMENTS OF INSPECTIONS AND RECORD KEEPING BY THE PRIMARY PERMITTEE OR TERTIARY PERMITTEE. PRIMARY PERMITTEE REQUIREMENTS

- 1. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKE PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
2. MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
3. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. CERTIFIED PERSONNEL SHALL ALSO CONDUCT INSPECTIONS WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER UNLESS SUCH STORM ENDS AFTER 5:00PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST. POST-RAIN INSPECTIONS WILL RESET THE 7-DAY FREQUENCY REQUIREMENT WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE. THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.A.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
4. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS RECEIVED BY EPD) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
5. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
6. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.A.(5), OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PAR V.G.2. OF THIS PERMIT.

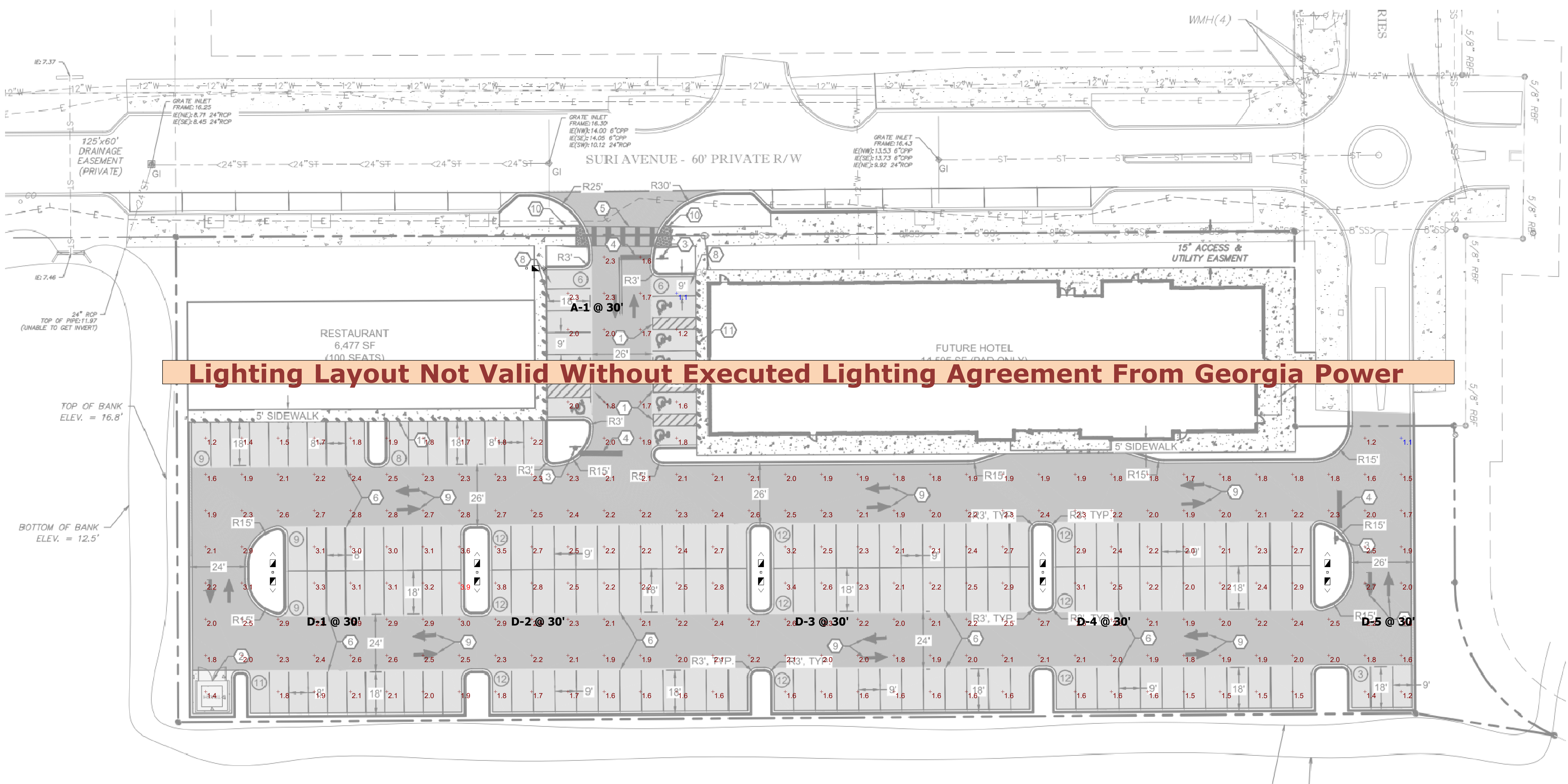
DATE, REVISION DESCRIPTION, NO. GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION Cody P. Rogers Level II Certified Design Professional Certification Number: 0000088488 Issued: 7/19/2025 Expires: 7/19/2028



EMC ENGINEERING SERVICES, INC. 1211 Merchant Way, Suite 201 Statesboro, GA 30458 Ph: (912) 764-7022 Fax: (912) 233-4580 statesboro@emc-eng.com www.emc-eng.com CIVIL MARINE ENVIRONMENTAL ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

EROSION, SEDIMENTATION AND POLLUTION CONTROL NOTES PARCEL 23 - HOTEL MOSAIC TOWN CENTER POOLER, CHATHAM COUNTY, GEORGIA Prepared for: SHAN POOLER PROJECT NO.: 25-2043.01 DRAWN BY: ARF DESIGNED BY: CPR SURVEYED BY: EMC SURVEY DATE: 11/07/2024 CHECKED BY: CPR SCALE: N/A DATE: 02/13/2026

G:\125125-2043.01 MOSAIC TC PARCEL 23\DWG\125-2043.01_C_B01_MOSAIC_TC - HOTEL.MXD 2/13/2026 9:53 AM



Lighting Layout Not Valid Without Executed Lighting Agreement From Georgia Power

Plan View
Scale - 1" = 20'

Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF	Input Power
▲	A	1	COOPER LIGHTING SOLUTIONS STREETWORKS (FORMERLY EATON)	ARCH-M-PA2-160-740-U-T4W	ARCHEON-M ROADWAY AND AREA LUMINAIRE (2) 70 CRI, 4000K, 1030mA LIGHT ENGINES WITH 16 LEDS AND TYPE IV WIDE OPTICS	0.912	161
■	D	5	COOPER LIGHTING SOLUTIONS STREETWORKS (FORMERLY EATON)	ARCH-M-PA2-160-740-U-SWQ	ARCHEON-M ROADWAY AND AREA LUMINAIRE (2) 70 CRI, 4000K, 1030mA LIGHT ENGINES WITH 16 LEDS AND TYPE V WIDE OPTICS	0.912	322

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.2 fc	3.9 fc	1.1 fc	3.5:1	2.0:1

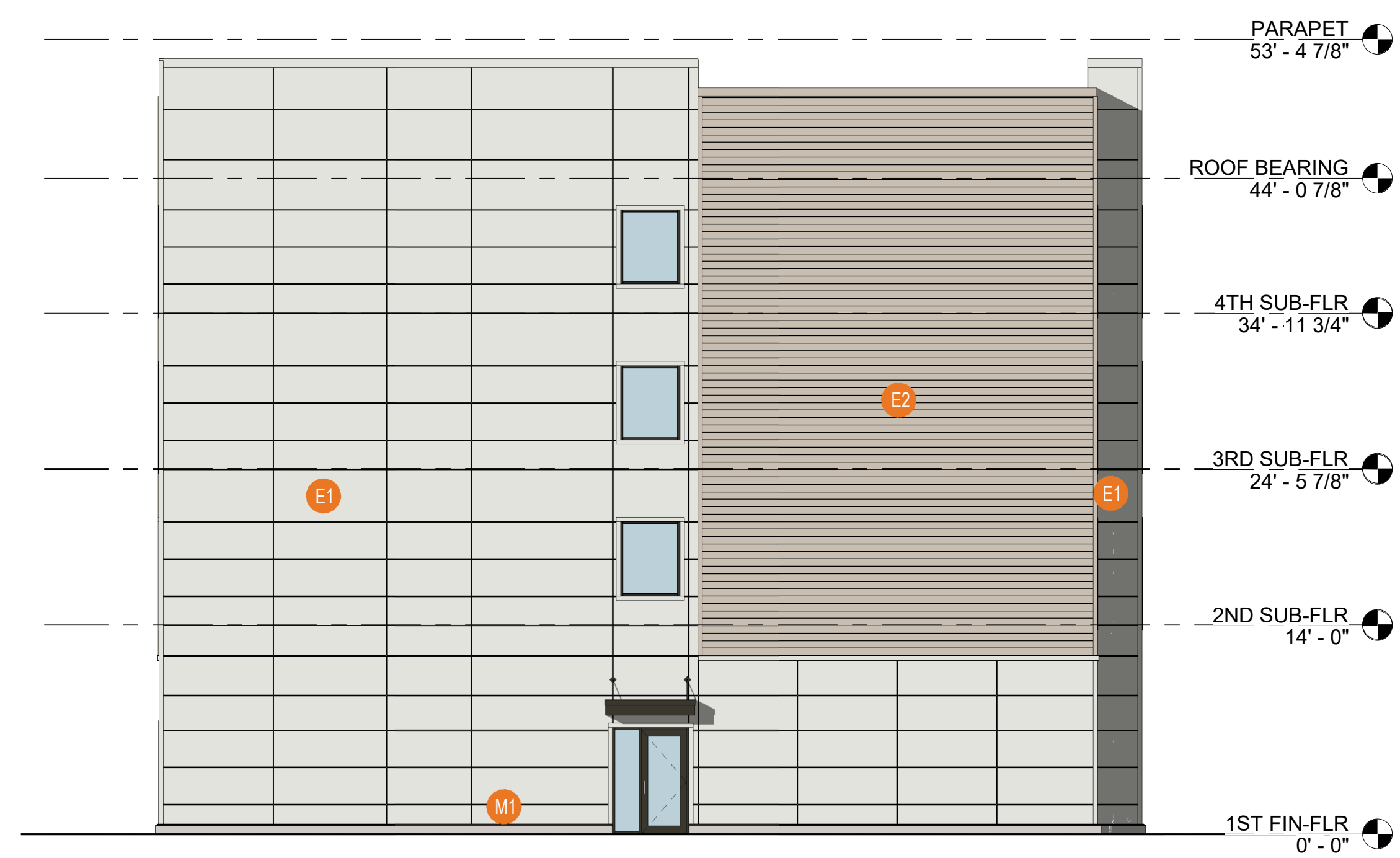
Note

- Readings are shown in units of maintained footcandles.
- Total Light Loss Factor (LLF) = .912 LLF for LED
- Test Plane = 0' Above Grade.
- Fixture Mounting Height = See Plan View.
- Fixture Spacing = See Plan View.
- This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
- These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

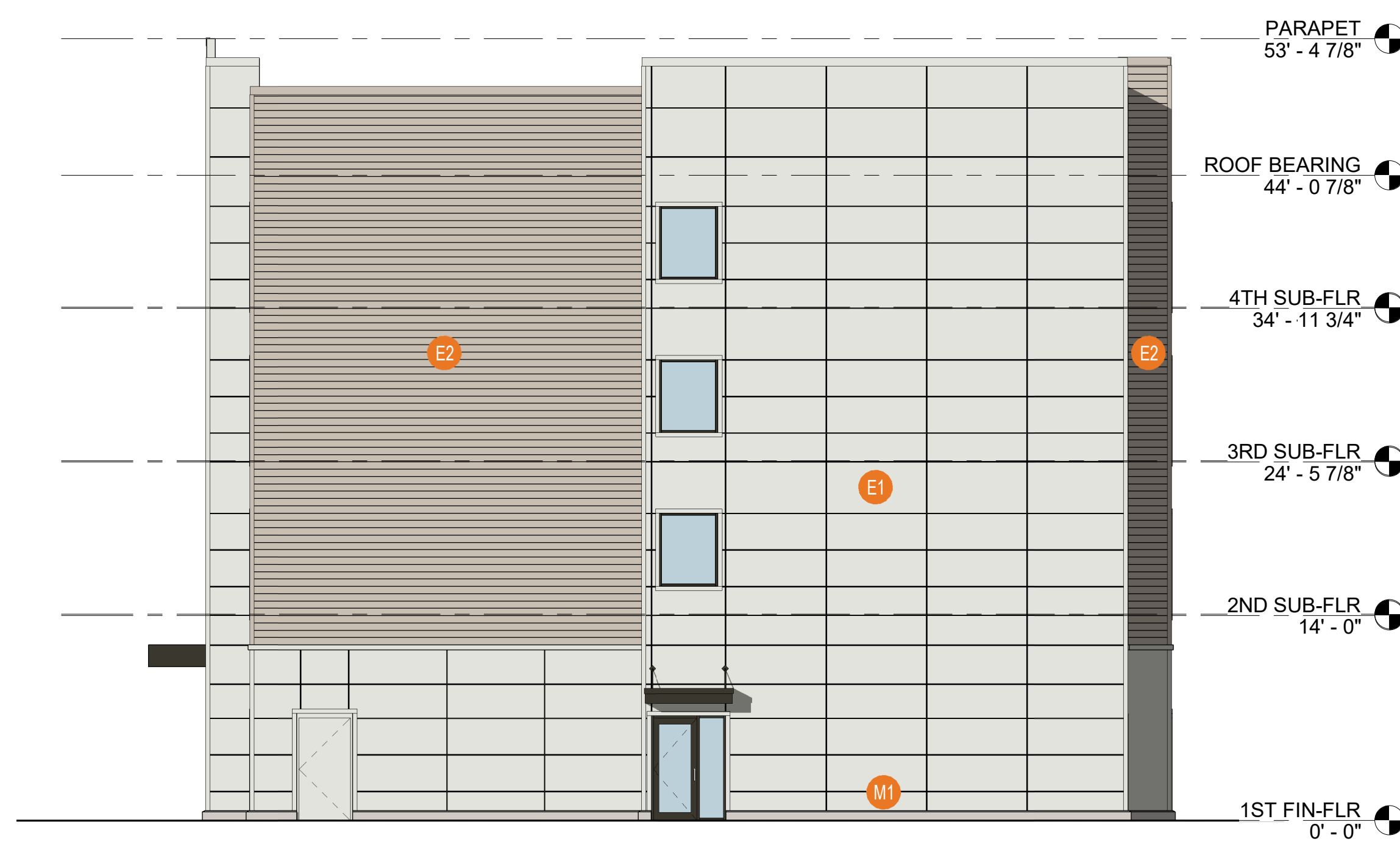
Mosaic Parcel 23 Hotel - Pooler, GA

Designer
KF
Date
08/05/2025
Scale
As Shown
Drawing No.
S47725A1
Summary

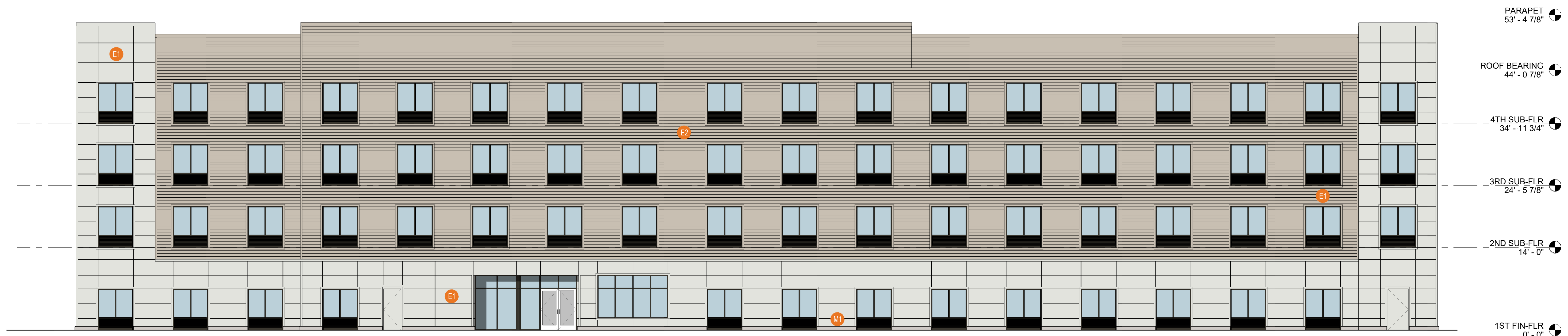
EXTERIOR FINISH LEGEND		
TAG	COLOR FILL	DESCRIPTION
EIFS		
E1	[Light Gray Box]	MANUFACTURER: DRYVIT SYSTEMS, INC. STYLE: SMOOTH
FIBER CEMENT SIDING		
E2	[Horizontal Line Box]	MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS STYLE: SMOOTH
E3	[Dark Brown Box]	MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS STYLE: SMOOTH
MASONRY (BEVELED CMU BLOCK AT WALL BASE)		
M1	[Light Gray Box]	MANUFACTURER: TBD STYLE: TBD



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

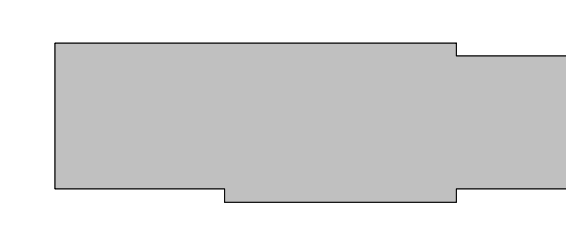


1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

STUDIO RES

200 SURI AVE.
POOLER, GA 31322

KEY PLAN



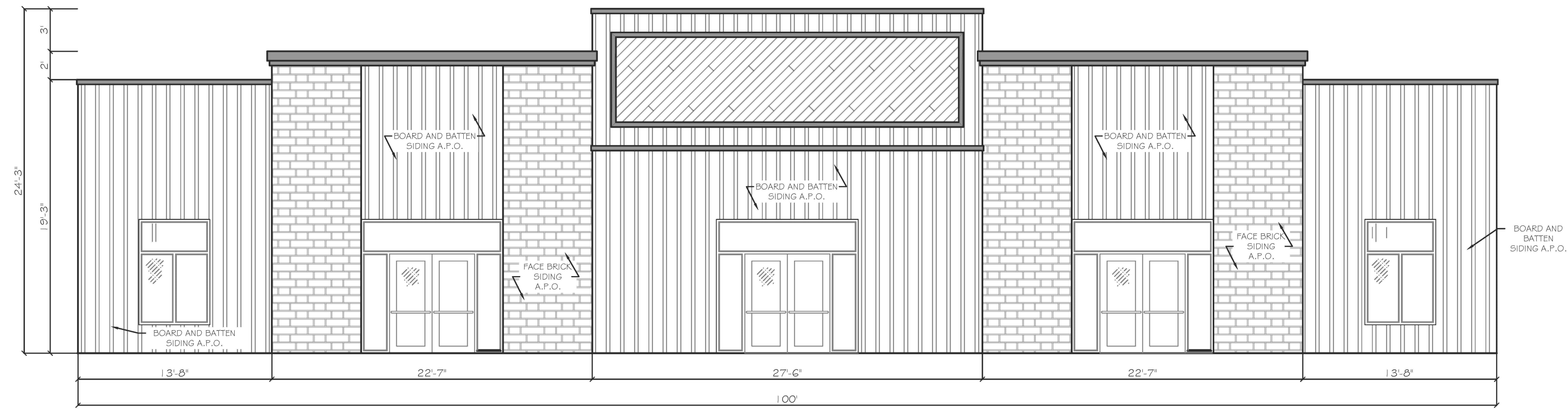
Revisions		
#	Date	Description

**FOR REVIEW
NOT FOR
CONSTRUCTION**

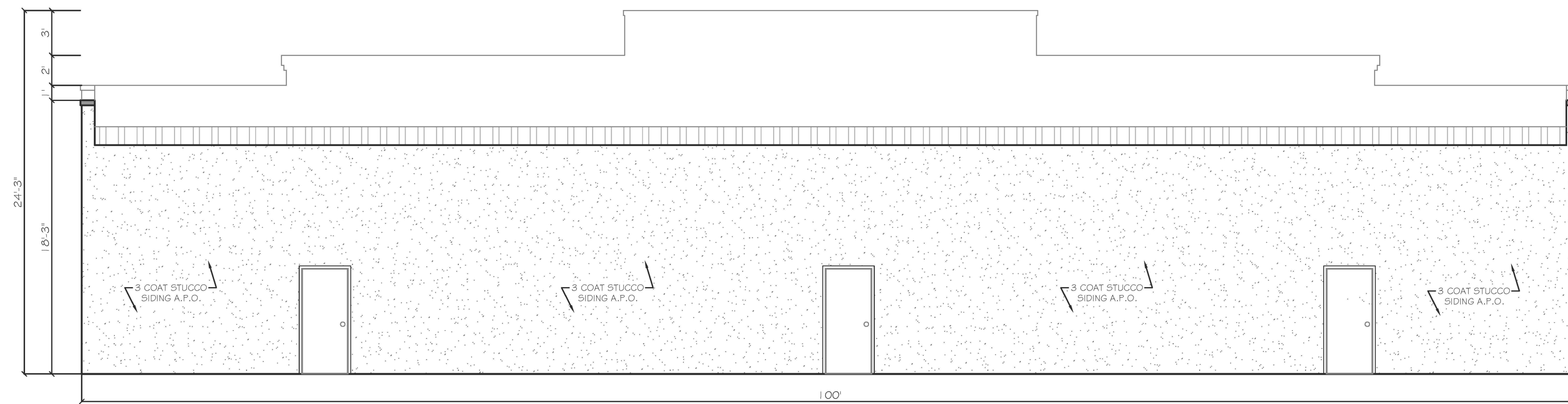
Project Number: 2517
Issued for: 30% DESIGN SUBMITTAL
Issue Date: 07/31/25

DRAWING TITLE
**BUILDING
ELEVATIONS**

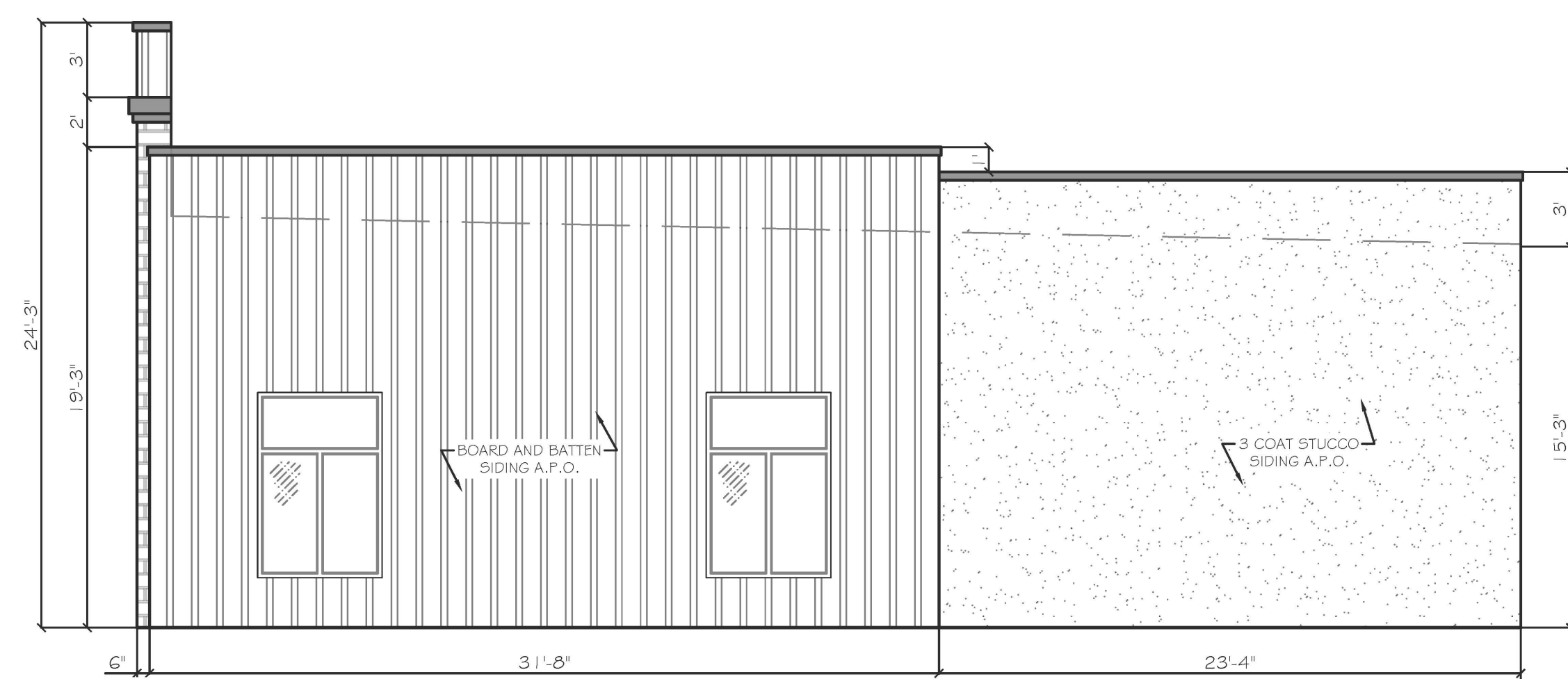
SHEET NUMBER
A-200



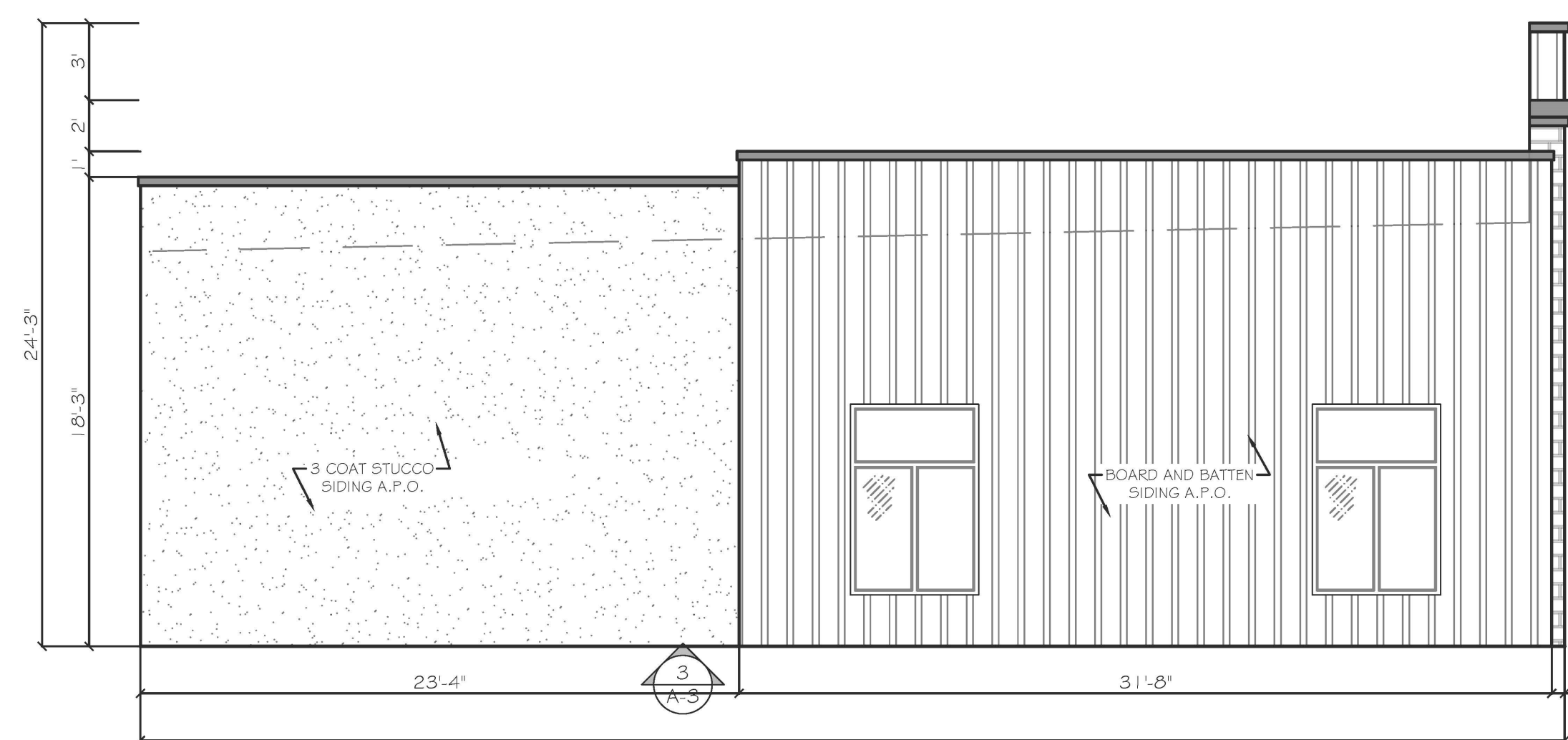
FRONT ELEVATION
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"



LEFT ELEVATION
3/16" = 1'-0"



CITY of POOLER
— GEORGIA —

**STORMWATER FACILITY/INFRASTRUCTURE
MAINTENANCE AGREEMENT**

THIS STORMWATER FACILITY/INFRASTRUCTURE MAINTENANCE AGREEMENT (the "Agreement"), is made and entered into this 13th day of October, 2025, by and between Shanpooler hereinafter "Landowner," and the City of Pooler, Georgia, hereinafter "City" and Project Name Mosaic Town Center - Parcel 23 Hotel.

WITNESSETH:

WHEREAS, the Landowner is the owner of certain real property described as Chatham County Parcel Identification Number(s) portion of 51009 01007 as evidenced by recorded instrument in the real estate records of Chatham County, Georgia, in Book 982 Page 131, hereinafter "Property"; and

WHEREAS, the Landowner is proceeding to build on and develop the property; and

WHEREAS, the applicable development plan for the Property, which is expressly incorporated herein and made a part hereof, as approved or to be approved by the City, provides for detention of stormwater within the confines of the Property; and

WHEREAS, the City and the Landowner, its successors and assigns, including any homeowners association, agree the health, safety, and welfare of the residents of the city of Pooler, Georgia, require on-site stormwater management facilities/infrastructure be constructed and adequately maintained on the Property; and

WHEREAS, the City requires on-site stormwater maintenance facilities/infrastructure, as included in any applicable development plan for the Property, be constructed and adequately maintained by the Landowner, its successors and assigns, including any homeowners association.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

Attachment B

- 1) The on-site stormwater maintenance facilities/infrastructure shall be constructed by the Landowner, its successors and assigns, in accordance with the plans and specifications in any applicable development plan approved by the City. No changes to the approved stormwater maintenance facilities/infrastructure are permitted without express prior approval by the City.
- 2) The Landowner, its successors and assigns, including any homeowners association, shall at all times adequately maintain the stormwater maintenance facilities/infrastructure. Such maintenance obligation shall include the obligation to properly maintain all pipes, channels or other conveyances built to convey stormwater to and from the facilities/infrastructure, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water. Adequate maintenance is herein defined as keeping the stormwater facilities/infrastructure in good working condition, as acceptable to the City, to ensure performance in accordance with their design functions.
- 3) The Landowner, its successors and assigns, including any homeowners association, shall inspect the stormwater maintenance facilities/infrastructure at least annually. The purpose of the inspection is to assure safe and proper functioning of the stormwater maintenance facilities/infrastructure. The Landowner's annual inspection shall cover all aspects of the stormwater maintenance facilities/infrastructure including without limitation berms, inlet and outlet structure(s), vegetation, infiltration media, pond area(s), access road(s), etc. Any deficiency(ies) shall be noted in the Landowner's annual inspection report, which shall be provided to the City with reasonable promptness upon completion.
- 4) The Landowner, its successors and assigns, including any homeowners association, hereby grants to the City, its authorized agents and employees, a nonexclusive perpetual easement of ingress and egress over, across, under, and through the Property for inspection of the stormwater maintenance facilities/infrastructure. The City may enter upon the Property to inspect the stormwater maintenance facilities/infrastructure for any reason including without limitation to follow up on any reported deficiencies or in response to complaints concerning the Property. If the City identifies any deficiency(ies) through its inspection, the Landowner, its successors and assigns, including any homeowners association, shall be notified of the same.
- 5) In the event the Landowner, its successors and assigns, including any homeowners association, fails to maintain the stormwater maintenance facilities/infrastructure in good working condition as acceptable to the City, the City may enter upon the Property and take whatever steps necessary to correct deficiencies identified in the inspection report and to charge the costs of such repairs to the Landowner, its successors and assigns, including any homeowners association. This provision shall not be construed to allow the City to erect any structure of permanent nature on the

Attachment B

land of the Landowner, its successors and assigns, including any homeowners association. It is expressly understood and agreed the City is under no obligation to routinely maintain or repair the stormwater maintenance facilities/infrastructure on the Property, and in no event shall this Agreement be deemed to impose any such obligation on the City.

- 6) The Landowner, its successors and assigns, including any homeowners association, shall perform all necessary work to keep the stormwater maintenance facilities/infrastructure in good working order. In the event a maintenance schedule for the stormwater maintenance facilities/infrastructure is outlined in any applicable development plan for the Property, such schedule shall be followed.
- 7) In the event the City pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner, its successors and assigns, including any homeowners association, shall reimburse the City, upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder.
- 8) This Agreement imposes no liability of any kind whatsoever on the City, and the Landowner, its successors and assigns, including any homeowners association, agrees to hold the City harmless from any liability in the event the stormwater maintenance facilities/infrastructure fail to operate properly.
- 9) This agreement shall be recorded among the deed records of Chatham County, Georgia, and shall constitute a covenant running with the land and shall be binding on the Landowner, its successors and assigns, including any homeowners association.
- 10) This Agreement in no way supersedes or alters any applicable federal, state, or local law including without limitation the Code of Ordinances for the City of Pooler, Georgia. In the event this Agreement conflicts with any applicable federal, state, or local law, this Agreement shall be subordinate to any such applicable law(s).
- 11) The Landowner and City hereby agree and expressly consent the provisions herein represent the entire agreement between them. Any other documents and or negotiations are hereby expressly superseded by execution of this agreement unless expressly incorporated herein or attached as an Exhibit.
- 12) This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of the counterparts together shall constitute one and the same instrument. Signatures via facsimile or scanned PDF signatures shall be deemed original signatures.

Attachment B

13) Should any provision of this Agreement be deemed unenforceable for any reason, the Landowner and City expressly agree such unenforceability shall not affect the remaining provisions of this Agreement. Any conflict arising under a provision deemed unenforceable shall be interpreted and applied according to the laws of the State of Georgia. The remaining unaffected provisions shall be controlled by the express wording therein.

[SPACE INTENTIONALLY LEFT BLANK]

[LANDOWNER AND CITY SIGNATURE PAGES FOLLOW]

IN WITNESS HEREOF, the Landowner has hereunto set their hand and seals as of the day written.

Sworn to and subscribed before me this

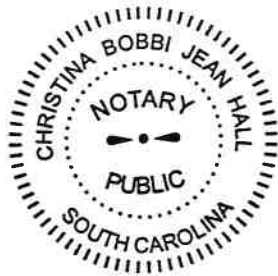
13th day of October, 2025

Christina Bobbi Jean Hall
Notary Public Print

Christina Bobbi Jean Hall
Notary Public Signature

June 28, 2029
Notary Public Commission Expiration

Seal:



Landowner

Shana Pooler Land Investment
Landowner Print

[Signature]
Landowner Signature

Sunita Desai
Witness Print

[Signature]
Witness Signature

IN WITNESS HEREOF, the City of Pooler, Georgia has hereunto set their hand and seals as of the day written.

Sworn to and subscribed before me this

_____ day of _____, 20_____

Notary Public Print

Notary Public Signature

Notary Public Commission Expiration

Seal:

City of Pooler, Georgia

Mayor Print

Mayor Signature

City Clerk Print

City Clerk Signature

Seal:



EOM Operations
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OPERATIONS

February 25th, 2026

Cody P. Rogers, P.E.
EMC Engineering Services
27 Chatham Center South, Suite A
Savannah, GA 31405

Dear Mr. Rogers,

I am pleased to provide you with a recommendation for Approval of the site development plans submitted for Parcel 23 Hotel – Mosaic Towne Center (Application No. 25-0149), as detailed below.

<u>Submittal Documents:</u>	Site Development Plans	<i>Feb. 2026</i>
	GSWCC Approval	<i>Feb. 2026</i>
	Stormwater Management Report	<i>Jan. 2026</i>
	Stormwater Maintenance Agreement	<i>Jan. 2026</i>
	Architectural Elevations Exhibit	<i>Oct. 2025</i>
	Traffic Engineering Study	<i>Oct. 2025</i>
	Fire Protection Plan	<i>Aug. 2025</i>

We have reviewed the submittals for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the Local, State and Federal Laws or the Engineering Standards and Development Codes applicable to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all Federal, State and Local codes and regulations. All required permits and associated documentation, pursuant to land disturbing activity and development permits, shall be found acceptable to the City of Pooler. All the required inspection and testing results, or related materials must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



EOM Operations
Your solution to a better tomorrow

Based on our comprehensive review, it is our professional opinion that the submitted plans are in substantial conformance with the City of Pooler's applicable design standards, codes, and ordinances. Accordingly, we respectfully recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker
Project Manager
EOM

CC: Nicole Johnson; Director of Planning & Development – City of Pooler
Marcella Benson; City Planner - City of Pooler
Ryan Jarles; City Planner – City of Pooler
Rachael Brown; Zoning Administrator – City of Pooler
Justin Arnsdorff, PE, Vice President of Engineering - EOM



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CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Development Plan Approval for the Outpost Bay Subdivision Amenity Center at 161 Jetty Circle.

Project:	#A25-0180
P&Z Meeting Date:	March 9, 2026
City Council Meeting Date:	April 6, 2026
Applicant and Authorized Agent:	Coleman Company Inc.
Property Owner:	OJGA Bay Owner, LLC
Location (Address):	161 Jetty Circle
Parcel (PIN):	51015 01023
Acreage:	Approximately 0.262-Acres
Zoning:	PUD (Wynn Capallo)
Proposed Use:	Subdivision Amenity Center
Staff Recommendation:	Approval with the following condition: <ul style="list-style-type: none">- The existing shade structure (constructed without prior approval) shall be relocated and reconstructed in full conformance with the approved site plan drawings prior to the issuance of the 21st Certificate of Occupancy for the residential homes. The final installed location, orientation, dimensions, materials, and details shall match those depicted on the approved plans.
Planning & Zoning Commission:	TBD
Recommended Motion:	"After review of the criteria, move for approval with the following condition:

- *The existing shade structure (constructed without prior approval) shall be relocated and reconstructed in full conformance with the approved site plan drawings prior to the issuance of the 21st Certificate of Occupancy for the residential homes. The final installed location, orientation, dimensions, materials, and details shall match those depicted on the approved plans.*

Background:

Outpost Bay received Major Subdivision Plan approval at the May 1, 2023, City Council meeting, with a condition requiring the recording of the stormwater agreement before scheduling a preconstruction meeting. While the subdivision plans were approved, the amenity parcel was labeled as "future amenity" and didn't provide details of what was proposed.

In September 2025, staff learned that the Amenity Center was planned for development; however, the applicant had not yet received Site Plan approval for the project, leading to the submission of the current application for review.

During the initial review, staff discovered that construction of the Amenity Center had commenced without prior Site Plan approval. Consequently, it must be stipulated that the existing shade structure, built without approval, must be relocated and reconstructed to fully conform with the approved site plan drawings. Staff allowed for up to 20 Certificate of Occupancy's to be issued for the homes while working through the site plan review process for the Amenity Center but does want the Amenity Center to be constructed before the issuance of the 21st Certificate of Occupancy. The final installed location, orientation, dimensions, materials, and details of the shade structure must match those depicted in the approved plans.

Zoning Action Standards:

1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.
 - o *The site is located within an area that is shown on the Future Land Use Map as Planned Development and is shown in the Comprehensive Plan as being within the Commercial Character Area. The proposed site is the Amenity Center for the Outpost Bay Subdivision and is consistent with the subdivision's development.*

2. Whether the site plan provides for adequate pedestrian and traffic access.
 - o *The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.*

3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - *The site plan provides adequate off-street parking.*
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - *Yes, the site plan provides the appropriate location, arrangement, size, and design when considering the surrounding residentially developed subdivision.*
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - *Yes, the proposed site plan is appropriate in scale for the 0.262-acre site and the adjacent residential properties.*
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - *The proposed site development is to be adequately served by public facilities.*
7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - *The site is proposed to be adequately served by public services.*
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - *The site plan complies with the provisions related to buffer and screening requirements.*
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-deterring buffer between adjacent properties.
 - *The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.*
10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws,

including without limitation the Code of Ordinances for the City of Pooler.

- *The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws; however, it must be stipulated that the existing shade structure, built without approval, must be relocated and reconstructed to fully conform with the approved site plan drawings before the issuance of the 21st Certificate of Occupancy for the residential homes. The final installed location, orientation, dimensions, materials, and details of the shade structure must match those depicted in the approved plans.*

11. Whether the site plan is in conformance with the latest version of the City of Pooler’s Standard Specifications and Details.

- *The site plan is in conformance with the latest version of the City of Pooler’s Standard Specifications and Details.*

Conclusion:

The site plan addresses the site plan approval criteria, as such, staff recommends **Approval** of the request with the following condition:

- The existing shade structure (constructed without prior approval) shall be relocated and reconstructed in full conformance with the approved site plan drawings prior to the issuance of the 21st Certificate of Occupancy for the residential homes. The final installed location, orientation, dimensions, materials, and details shall match those depicted on the approved plans.

Attachments:

- A. Vicinity Map
- B. Submittal Documentation
- C. Approval Letter

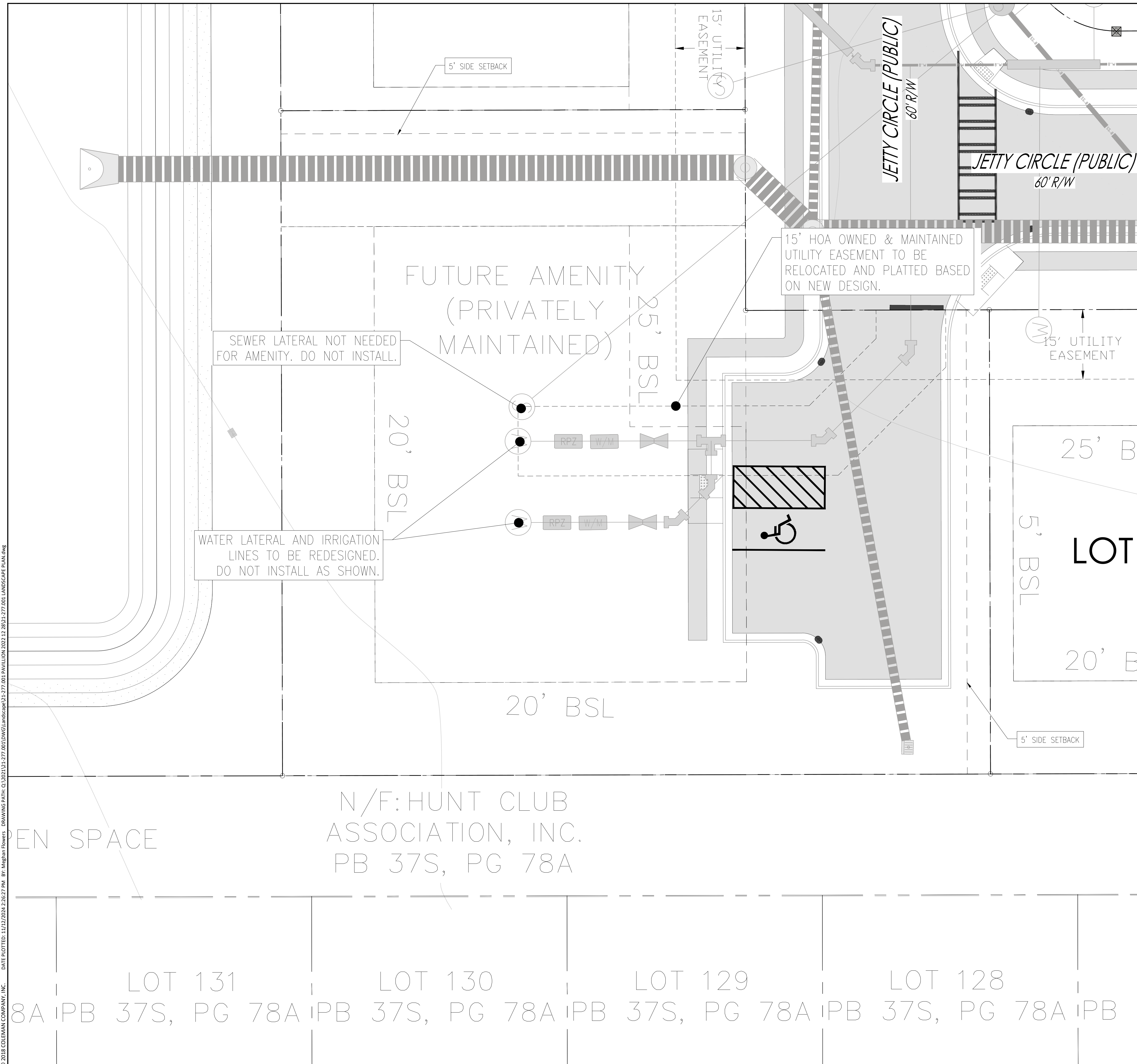


CITY of POOLER
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Vicinity Map - Outpost Bay Amenity Center - Site Plan

03/02/2026

Parcels



Ossabaw Consulting, LLC
P.O. Box 30012 • Savannah, GA 31410 • ossabawconsulting@gmail.com • (912) 658 8833

Arborist Site Report

Coleman Company, Inc.
 1480 Chatham Parkway, Suite 100
 Savannah, GA 31405

November 3, 2022

Location:
 Proposed Jimmy Deloach Townhomes
 Pooler, GA

General Information:
 Trees were assessed to determine if they are healthy, per City of Pooler code for "significant tree". The trees were assessed during November of 2022 at a Level 2 Assessment, as defined by the International Society of Arboriculture (ISA). The inspecting arborist is under contract with the City of Pooler and this report will be the official opinion of the City of Pooler Arborist.

Detailed Findings and Recommendations*:
 It was determined that there were no trees of qualifying size for "significant tree" per City of Pooler code. The site is old pine field with Water Oak, Black Gum and Hollies dominating the middle and lower story canopy.

It is recommended that if any trees remain on site, that they have a tree protection zone to the drip line or at least 1.25ft in radii around the tree for every diameter inch of the trunk, if possible. Tree protection zones should be constructed of chain link fencing and no equipment shall enter or be stored within the tree protection zone. Mulch should be added within the tree protection zone and should be shredded hardwood and not exceed 4 inches in depth; if possible, irrigation should also be installed within the tree protection zone. Trees should be fertilized twice annually for three years to lessen the stress effects of the construction and trees should also be treated to prevent the infestation of wood boring insects.

It is also recommended that all trees that remain on site should be pruned to eliminate any hazardous limbs and improve overall safety. Pruning should be conducted under the supervision of an ISA Certified Arborist and should adhere to the most recent ANSI A300 standards and ISA Best Management Practices for tree pruning. It is also recommended that no cutting or pruning

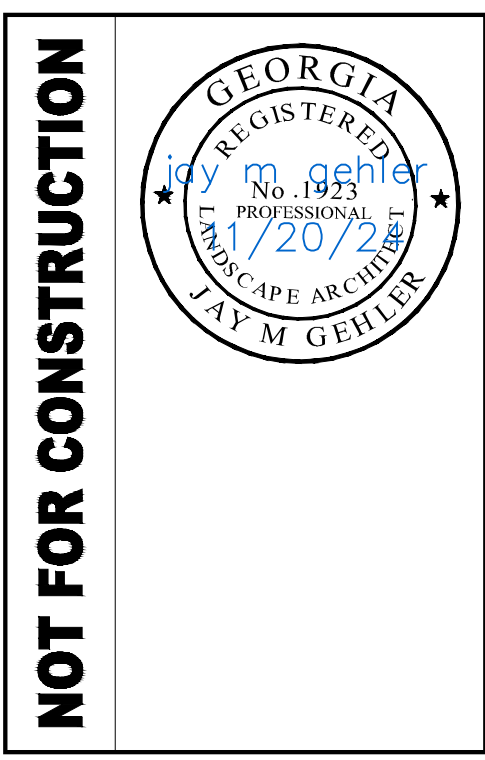
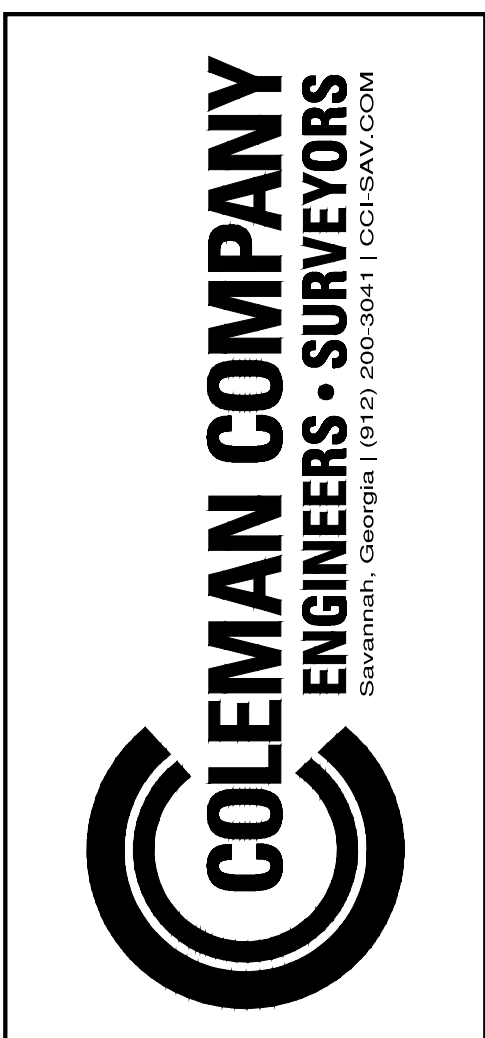
of tree roots be conducted, however if there is a need for such a practice, an ISA Certified Arborist should direct and supervise the cutting or pruning. In addition to the pruning, all trees that remain on site should be inspected annually by an ISA Certified Arborist.

Inspector's Information:
 Michael W. Pavlis, BS, MS
 ISA Certified Arborist, SO-5588A
 ISA Tree Risk Qualification

Thank you for your consideration.

Michael W. Pavlis
 Michael W. Pavlis
 Ossabaw Consulting, LLC

*These are a living organism and are undergoing constant change. Recommendations are based on current and local conditions. Conditions may change as time progresses. While we strive for complete diagnosis there are some defects that are not visible and failure of in use of a tree may occur, unless otherwise noted by Ossabaw Consulting, LLC.



NOT FOR CONSTRUCTION

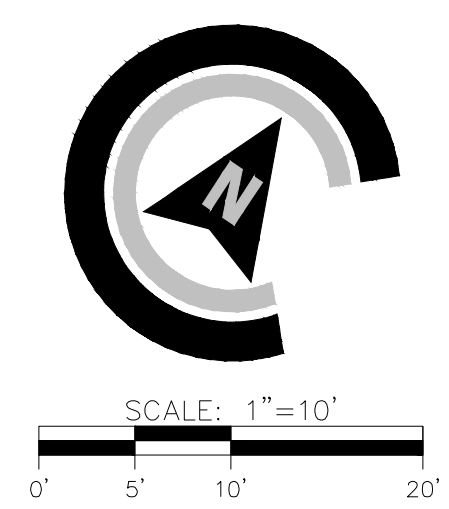
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2024.12.09	jmg
2025.02.20	jmg

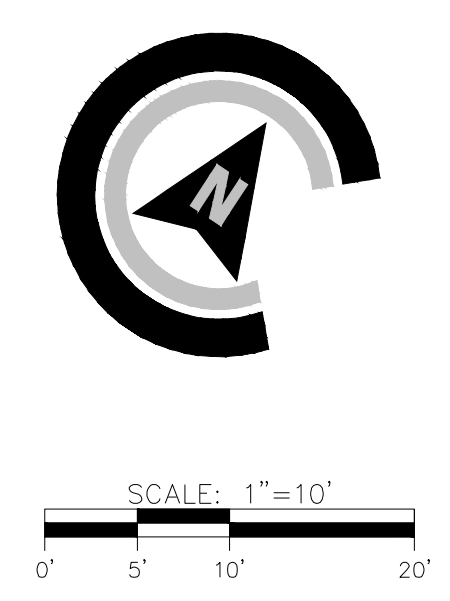
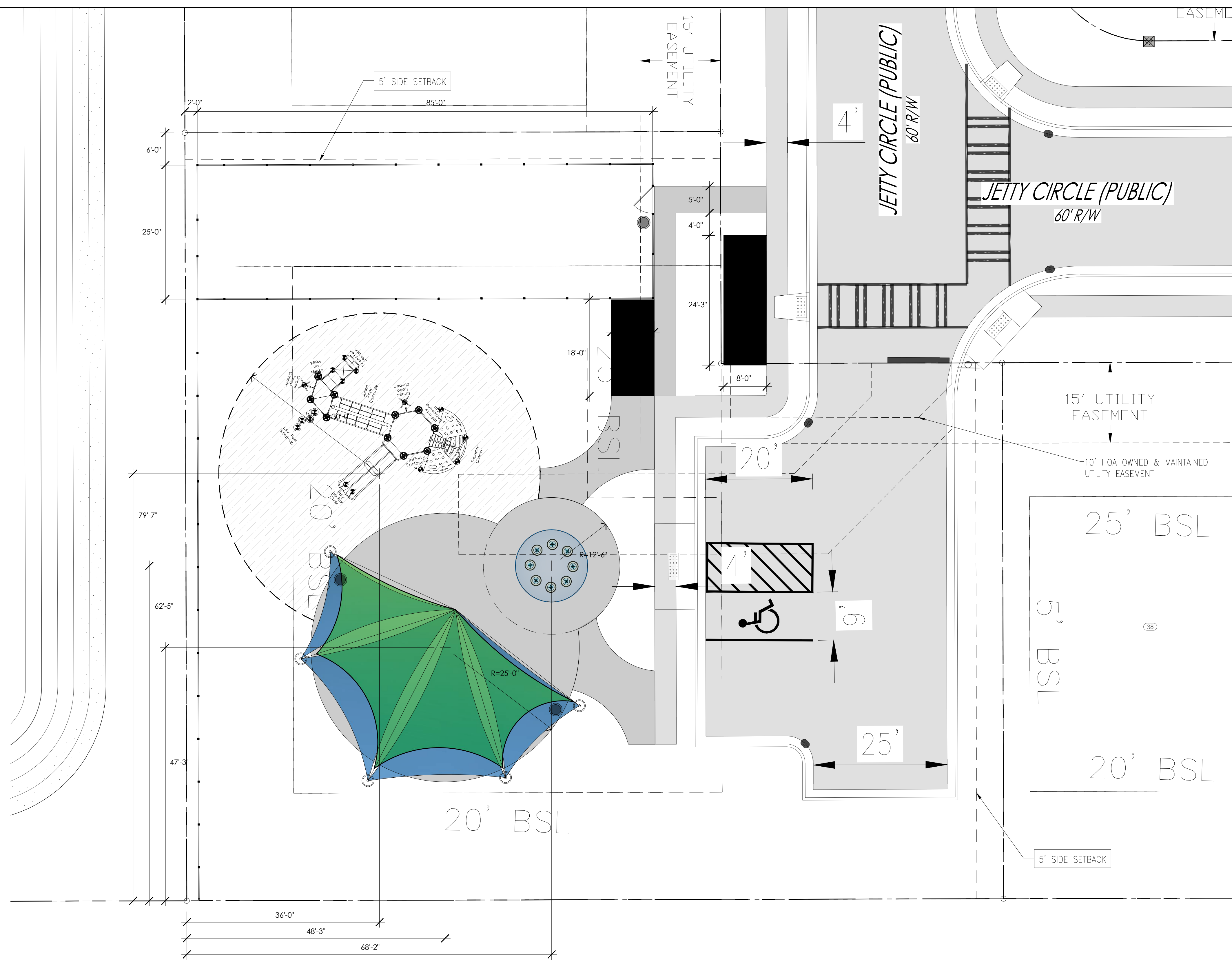
AMENITY PLANS FOR
OUTPOST BAY
 WATER FEATURE AMENITY
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR OUTPOST LIVING OWNER, LLC

JOB NUMBER: 21-277.001
 DATE: 11/17/2025
 DRAWN BY: MLF / JMG
 CHECKED BY: NPM
 SCALE: AS NOTED

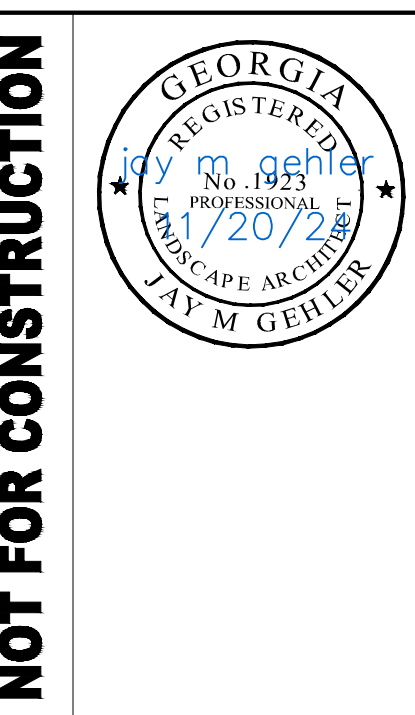
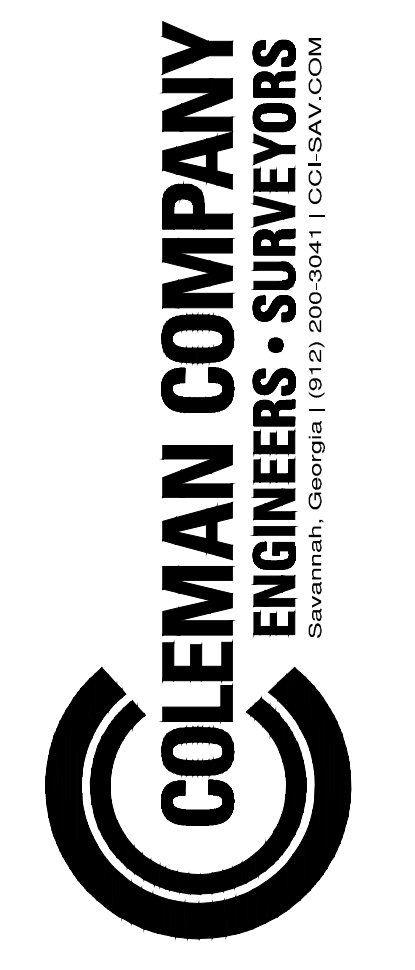
EXISTING
 CONDITIONS

SHEET:
L1.0





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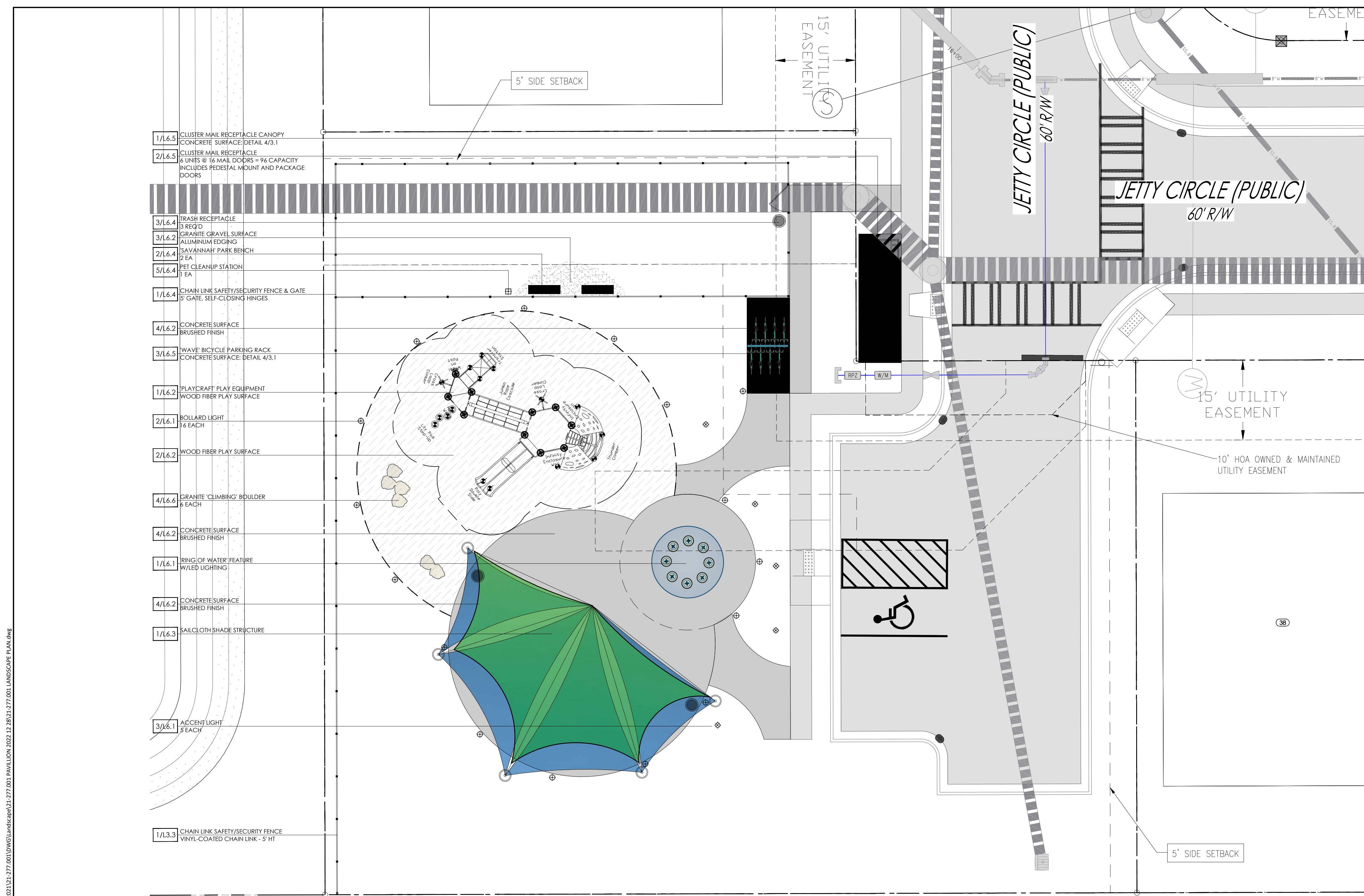
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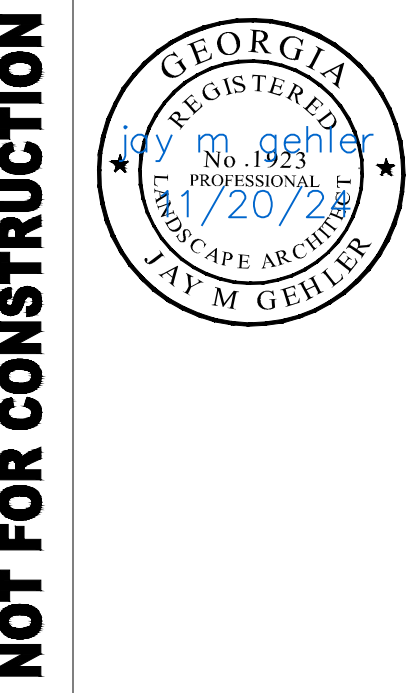
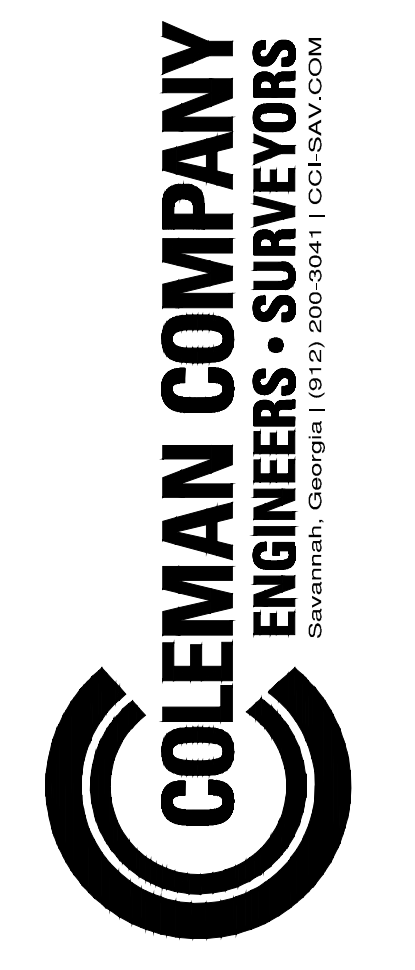
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AMENITY STAKING

SHEET:
L2.0



- 1/L6.5 CLUSTER MAIL RECEPTACLE CANOPY
CONCRETE SURFACE: DETAIL 4/3.1
- 2/L6.5 CLUSTER MAIL RECEPTACLE
9 UNITS @ 16 MAIL DOORS = 96 CAPACITY
INCLUDES PEDESTAL MOUNT AND PACKAGE DOORS
- 3/L6.4 TRASH RECEPTACLE
3 REQ'D
- 3/L6.2 GRANITE GRAVEL SURFACE
ALUMINUM EDGING
- 2/L6.4 SAVANNAH PARK BENCH
2 EA
- 5/L6.4 PET CLEANUP STATION
1 EA
- 1/L6.4 CHAIN LINK SAFETY/SECURITY FENCE & GATE
5 GATE, SELF-CLOSING HINGES
- 4/L6.2 CONCRETE SURFACE
BRUSHED FINISH
- 3/L6.5 WAVE BICYCLE PARKING RACK
CONCRETE SURFACE: DETAIL 4/3.1
- 1/L6.2 PLAYCRAFT PLAY EQUIPMENT
WOOD FIBER PLAY SURFACE
- 2/L6.1 BOLLARD LIGHT
16 EACH
- 2/L6.2 WOOD FIBER PLAY SURFACE
- 4/L6.4 GRANITE CLIMBING BOULDER
8 EACH
- 4/L6.2 CONCRETE SURFACE
BRUSHED FINISH
- 1/L6.1 RING OF WATER FEATURE
W/LED LIGHTING
- 4/L6.2 CONCRETE SURFACE
BRUSHED FINISH
- 1/L6.3 SAILCLOTH SHADE STRUCTURE
- 3/L6.1 ACCENT LIGHT
5 EACH
- 1/L3.3 CHAIN LINK SAFETY/SECURITY FENCE
VINYL COATED CHAIN LINK - 5' HT



REVISIONS:

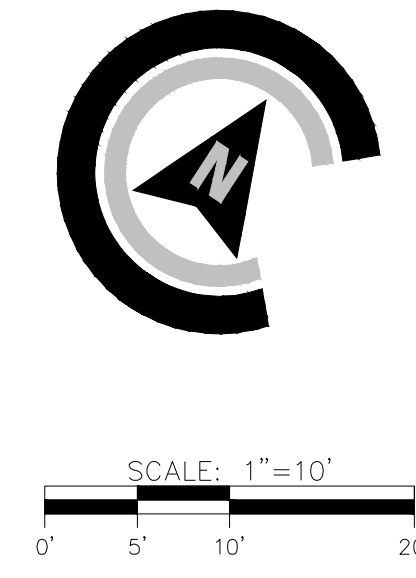
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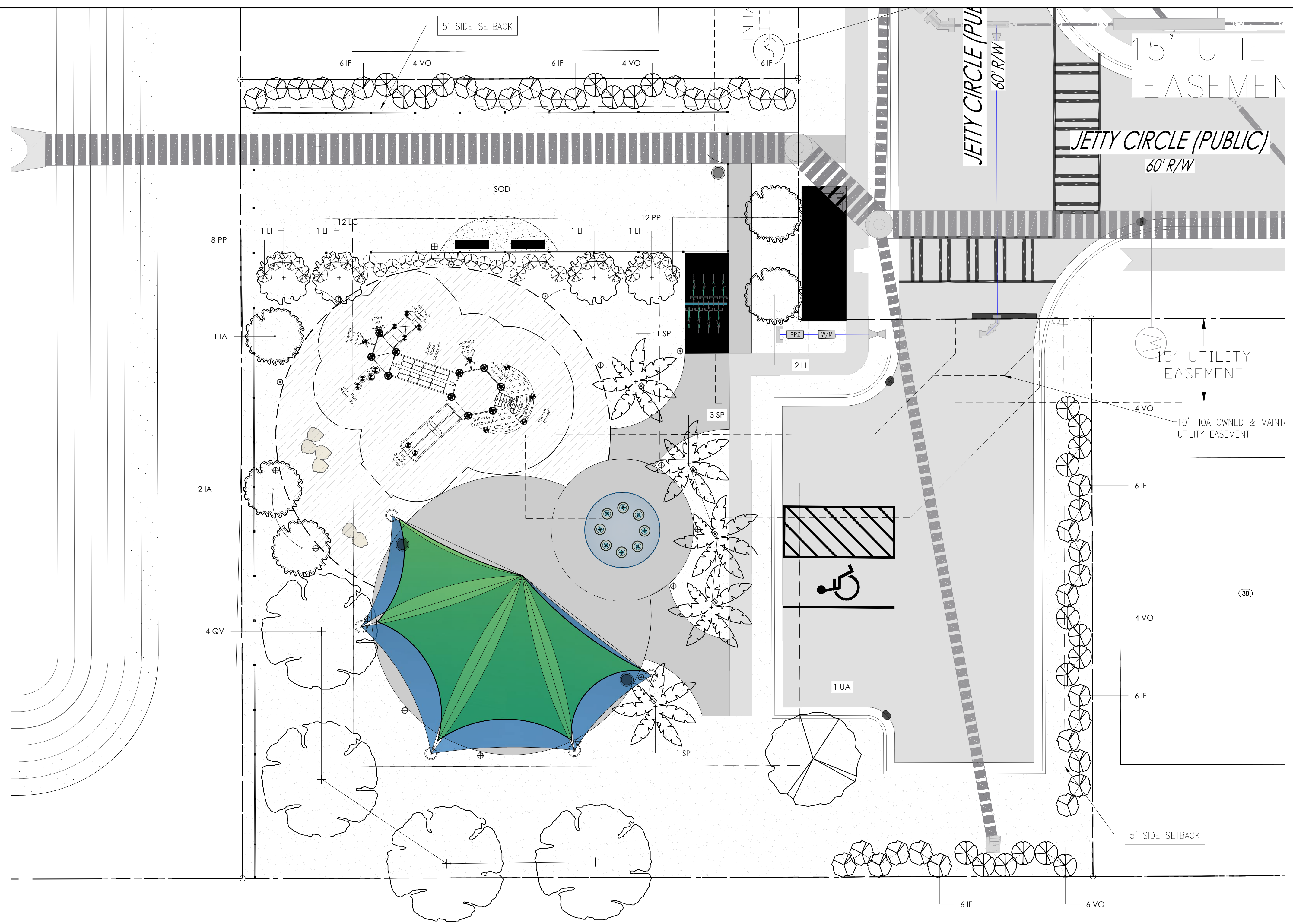
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AMENITY SITE PLAN

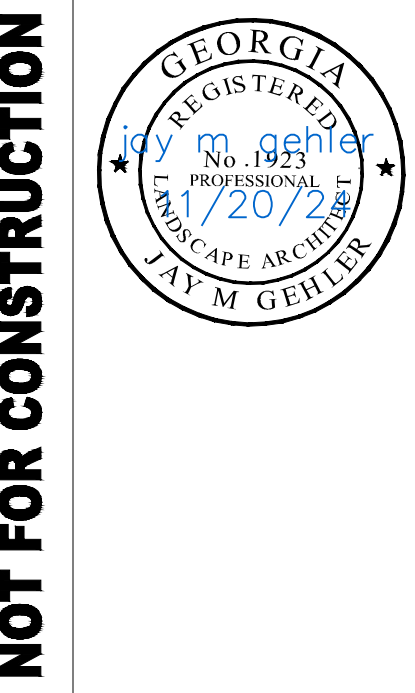
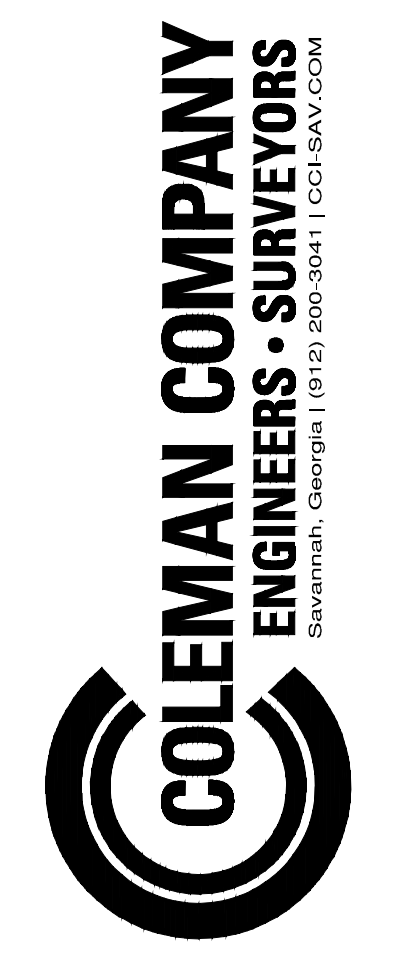
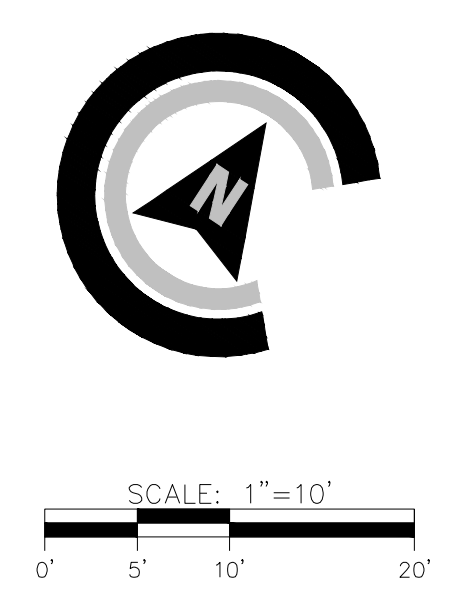
SHEET:
L2.1





PLANTING SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
1A	5	ILEX X ATTENUATA 'SAVANNAH'	SAVANNAH HOLLY	2" CALIPER
LI	4	LAGERSIROEMIA INDICA 'TUSCARORA'	TUSCARORA 'CRAPE MYRTLE	2" CALIPER
QV	4	QUERCUS VIRGINIANA 'CATHEDRAL'	'CATHEDRAL' LIVE OAK	3" CALIPER
UA	1	ULMUS AMERICANA 'PRINCETON'	'PRINCETON' ELM	3" CALIPER
PALMS				
SP	5	SABAL PALMETTO	SABAL PALM	10-12' HEIGHT
SHRUBS				
IF	36	LILICIUM FLORIDANUM	FLORIDA ANISE	#7 CONTAINER
LC	12	LOROPETALUM CHINENSE 'KUROBI JIN'	'CERISE CHARM' LOROPETALUM	#7 CONTAINER
PP	20	PODOCARPUS MACROPHYLLUS 'PRINGLES'	'PRINGLES' JAPANESE YEW	#7 CONTAINER
VO	22	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	#7 CONTAINER
GROUND COVER				
SOD	9,000	ZOYZIA 'EMPIRE'	EMPIRE ZOYZIA SOD	2-YEAR, SEASON PERMITTING



REVISIONS:

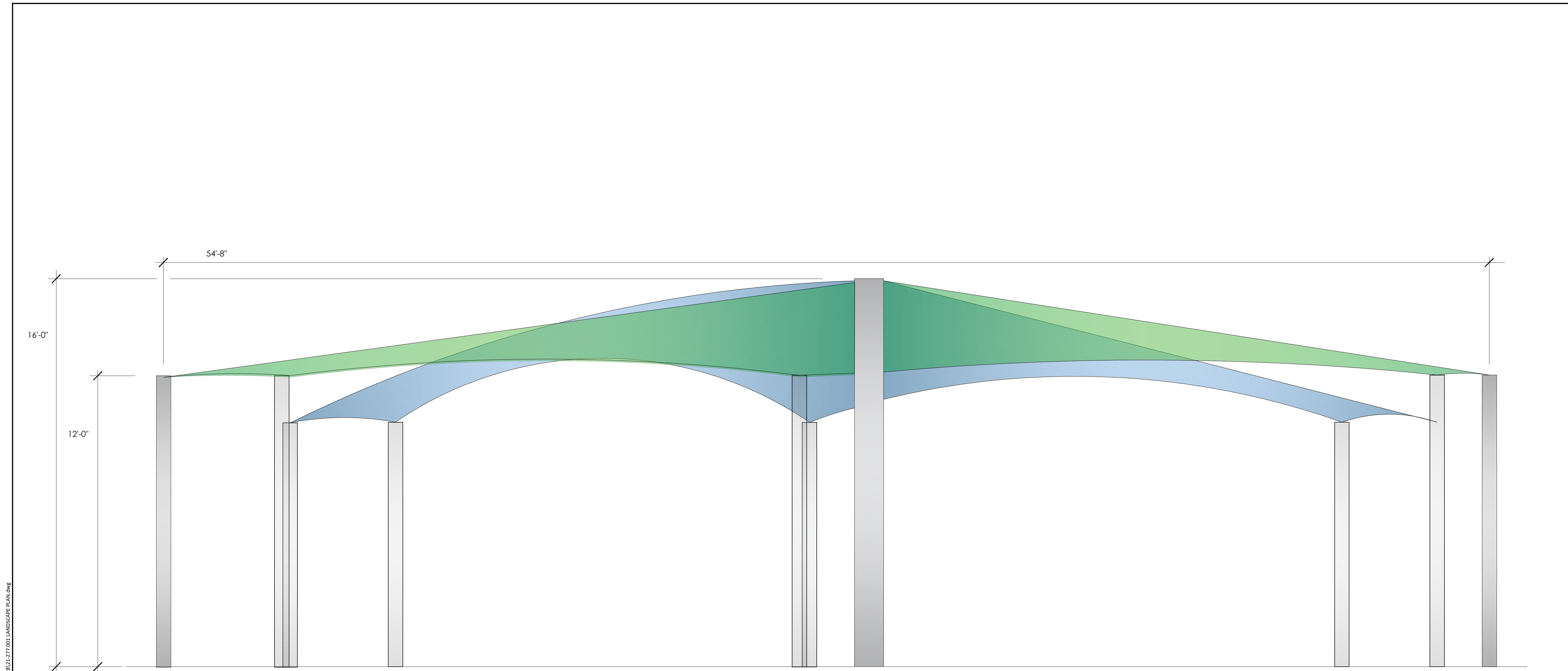
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LANDSCAPE PLAN

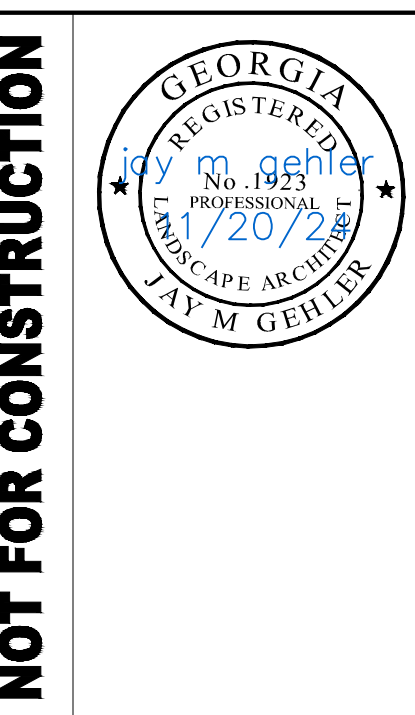
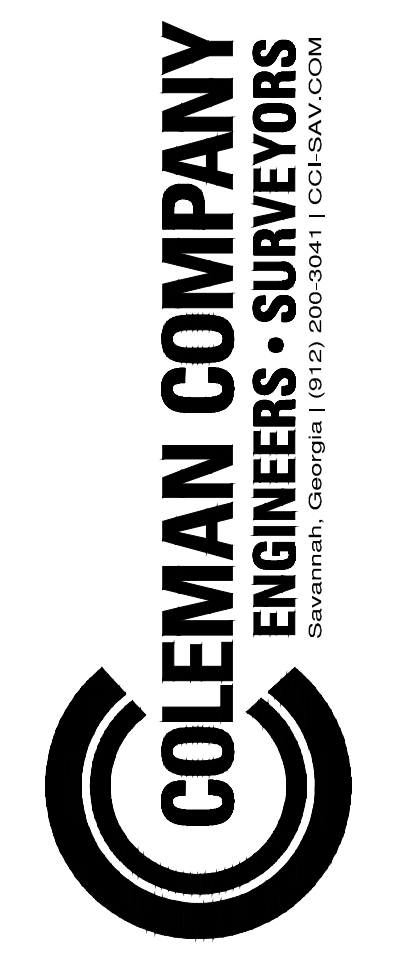
SHEET:
L5.0



1/L7.3A SAIL SHADE SHELTER ELEVATION
1" = 2'-0"

*LANDSCAPE ARCHITECT'S NOTE
SHADE STRUCTURE DOES NOT EXCEED
16' IN HEIGHT

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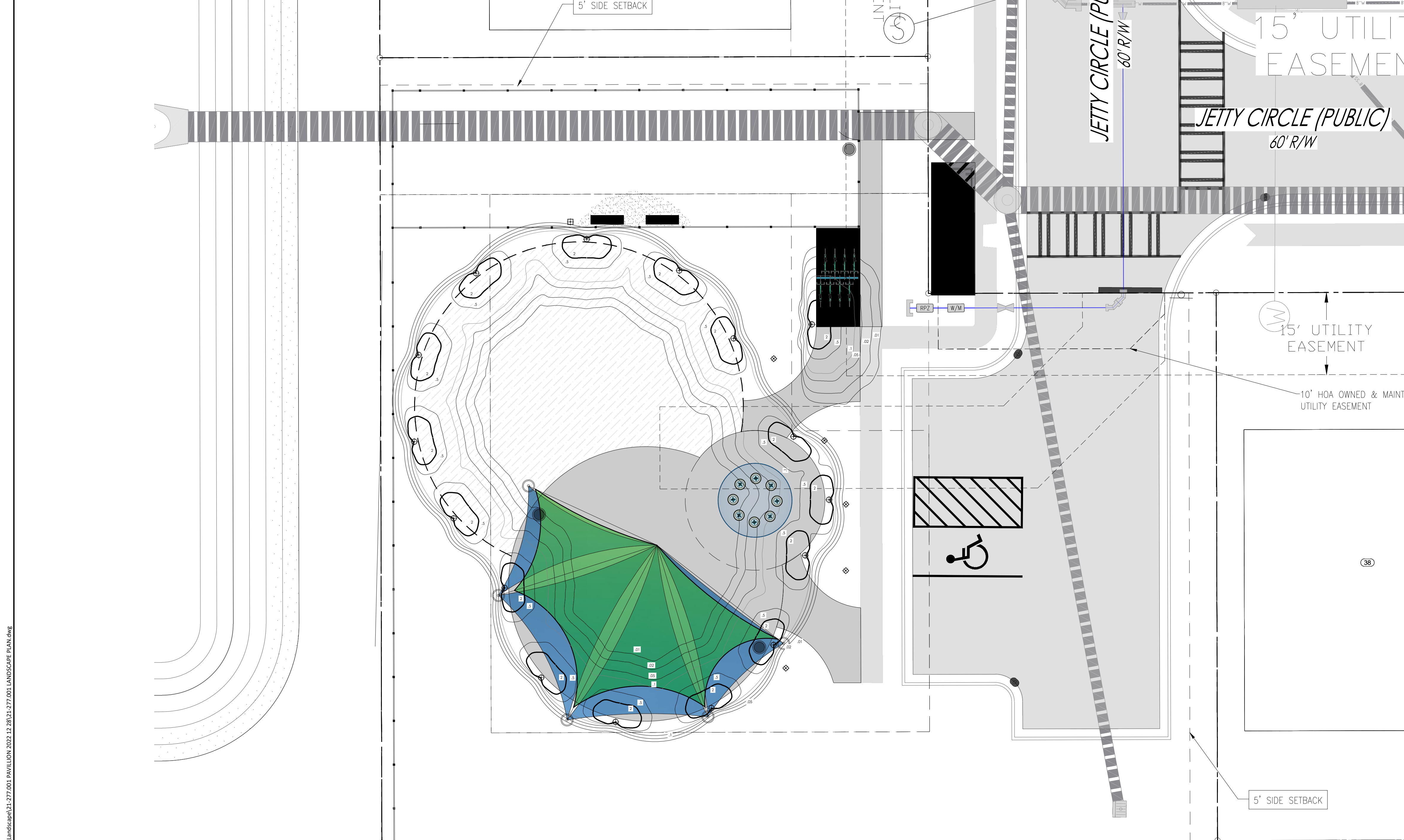
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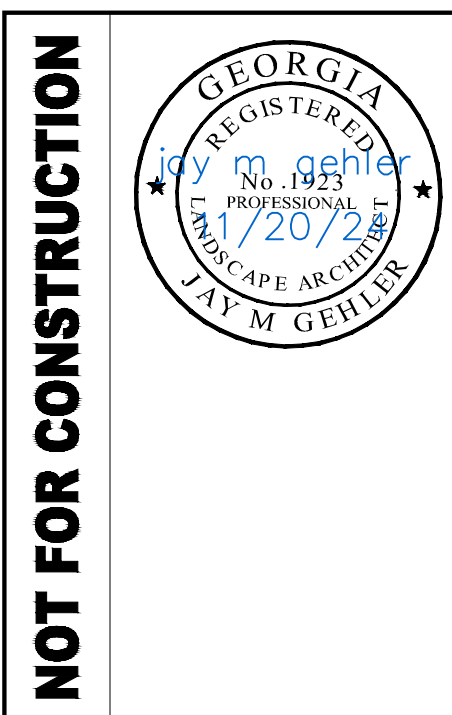
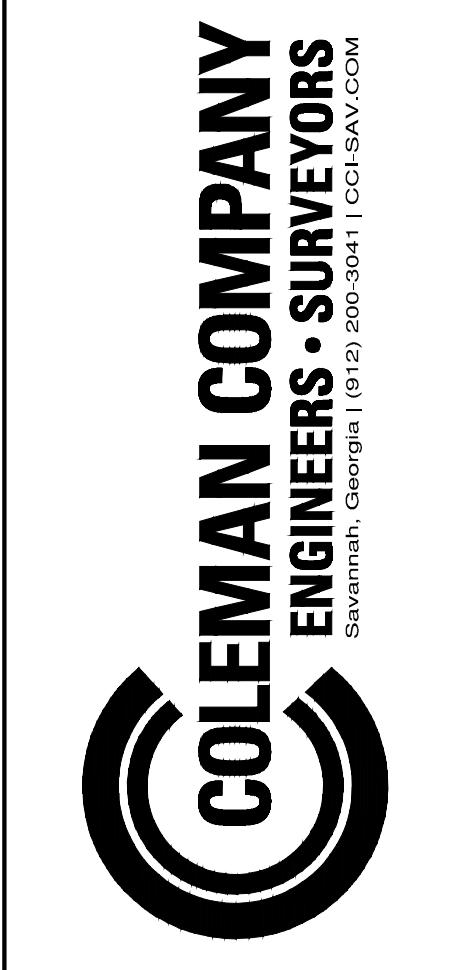
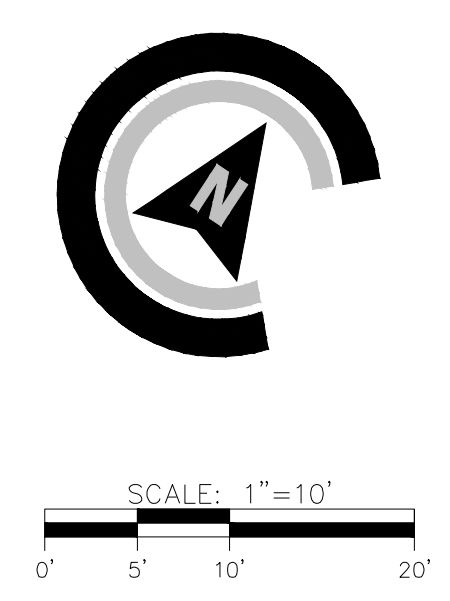
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AMENITY DETAILS

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L7.4



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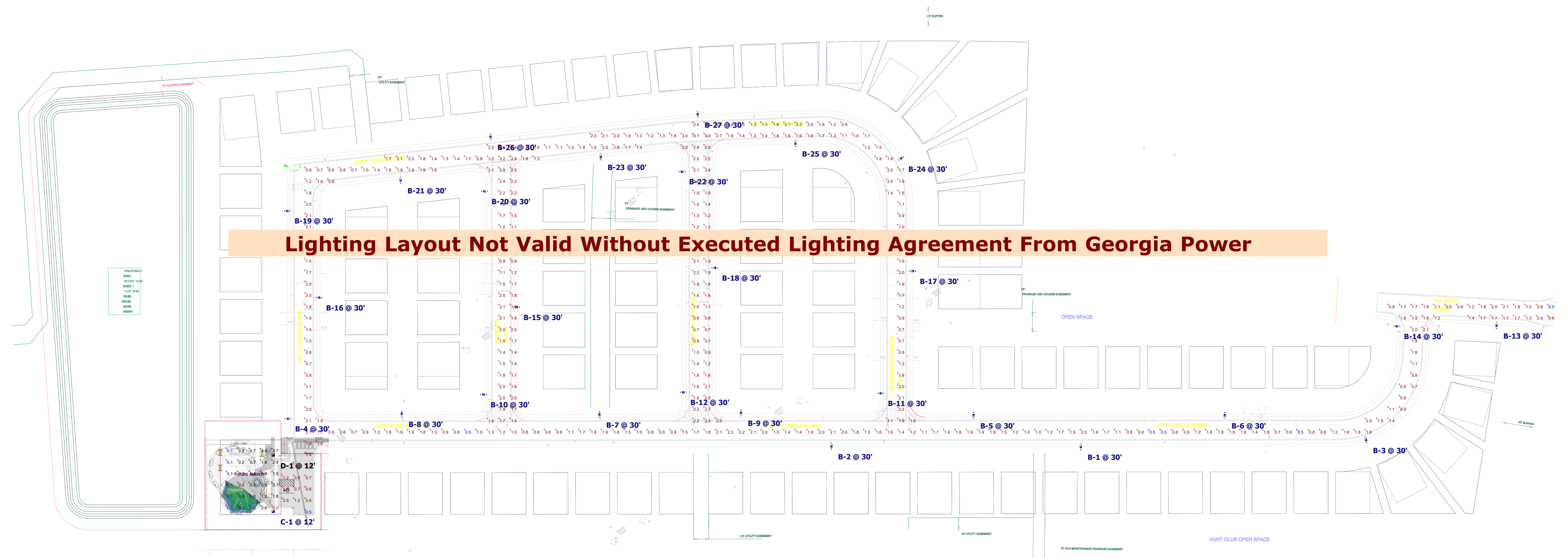
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AMENITY LIGHTING PLAN

SHEET:
L8.0



Lighting Layout Not Valid Without Executed Lighting Agreement From Georgia Power

Plan View
Scale - 1" = 65ft

Schedule								
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage
	B	27	ARCH-M-PA2-120-740-U-T3	ARCHEON-M ROADWAY AND AREA LUMINAIRE (2) 70 CRI, 4000K, 785mA LIGHT ENGINES WITH 16 LEDS AND TYPE III OPTICS	48	379	0.912	122
	C	1	UTLD-PA1-50-740-U-T3	TRADITIONAIRE LED DOWNLIGHT LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	24	277	0.912	54
	D	1	UTLD-PA1-50-740-U-SWQ	TRADITIONAIRE LED DOWNLIGHT LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	24	289	0.912	54

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Roadways	+	1.6 fc	3.3 fc	0.5 fc	6.6:1	3.2:1
Amenity Area	+	0.9 fc	5.0 fc	0.1 fc	50.0:1	9.0:1

- Notes**
- Readings are shown in units of maintained footcandles.
 - Total Light Loss Factor (LLF) = .912 LLF for LED
 - Test Plane = 0' Above grade
 - Fixture Mounting Height = See Plan view.
 - Fixture Spacing = See Plan view.
 - This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
 - These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

Disclaimer
This lighting design is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. Frazier Photometrics is not responsible for specifying the lighting or illumination requirements for any specific project. It is the obligation of the end-user to consult with a professional engineering advisor to determine whether this lighting design meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting design. In no event will Frazier Photometrics be held responsible for any loss resulting from any use of this lighting design.

Outpost Bay

Designer
KF
Date
2/6/2026
Scale
As Shown
Drawing No.
S03923B1
Summary



EOM Operations
Your solution to a better tomorrow

OPERATIONS

February 18th, 2026

Neil P. McKenzie, P.E.
Coleman Company
1480 Chatham Pkwy, Suite 100
Savannah, GA 31405

Dear Mr. McKenzie,

I am pleased to provide you with a recommendation for Approval (w/ Conditions) of the site development plans submitted for Outpost Bay Amenity (Application No. 25-0180), as detailed below.

Submittal Documents: Site Development Plan.....*Feb. 2026*

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for ensuring that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.

Based on our comprehensive review, it is our professional opinion that the submitted plans are in substantial conformance with the City of Pooler’s applicable design standards, codes, and ordinances. Accordingly, we respectfully recommend Approval of the site development plans, subject to the following:

As a condition of this recommendation for site plan approval, the existing shade structure (constructed without prior approval) shall be relocated and reconstructed in full conformance with the approved site plan drawings. The final installed location, orientation, dimensions, materials, and details shall match those depicted on the approved plans.



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



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F: 912.756.5882



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Should you have any questions or require additional clarification, please do not hesitate to contact me at tshoemaker@eomworx.com or by phone at (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker
Project Manager
EOM

CC: Nicole Johnson; Director of Planning & Development – City of Pooler
Marcella Benson; City Planner- City of Pooler
Ryan Jarles; City Planner – City of Pooler
Rachael Brown; Zoning Administrator – City of Pooler
Justin Arnsdorff, PE; Vice President of Engineering – EOM



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